

Public Agenda



Please reply to:

Contact: Gill Hobbs
Service: Committee Services
Direct line: 01784 446240
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Date: 6 December 2016

Notice of meeting

Planning Committee

Date: Wednesday, 14 December 2016

Time: **Call Over Meeting** - 6.45 pm

The Call Over meeting will deal with administrative matters for the Planning Committee meeting. Please see guidance note on reverse

Committee meeting – Immediately upon the conclusion of the Call Over Meeting

Place: Council Chamber, Council Offices, Knowle Green, Staines-upon-Thames

To the members of the Planning Committee

Councillors:

R.A. Smith-Ainsley (Chairman)	R. Chandler	N.J. Gething
H.A. Thomson (Vice-Chairman)	S.M. Doran	A.C. Harman
R.O. Barratt	P.C. Forbes-Forsyth	A.T. Jones
I.J. Beardsmore	M.P.C. Francis	D. Patel
J.R. Boughtflower	C.M. Frazer	R.W. Sider BEM

Spelthorne Borough Council, Council Offices, Knowle Green

Staines-upon-Thames TW18 1XB

www.spelthorne.gov.uk customer.services@spelthorne.gov.uk Telephone 01784 451499

Call Over Meeting

Guidance Note

The Council will organise a meeting immediately prior to the Planning Committee meeting (a "Call Over") which will deal with the following administrative matters for the Committee:

- Ward councillor speaking
- Public speakers
- Declarations of interests
- Late information
- Withdrawals
- Changes of condition
- any other procedural issues which in the opinion of the Chairman ought to be dealt with in advance of the meeting.

The Call-Over will be organised by Officers who will be present. Unless there are exceptional circumstances, the meeting will be held in the same room planned for the Committee. The Chairman of the Planning Committee will preside at the Call-Over. The Call-Over will take place in public and Officers will advise the public of the proceedings at the meeting. Public speaking at the Call-Over either in answer to the Chairman's questions or otherwise will be at the sole discretion of the Chairman and his ruling on all administrative matters for the Committee will be final.

Councillors should not seek to discuss the merits of a planning application or any other material aspect of an application during the Call-Over.

Planning Committee meeting

Start times of agenda items

It is impossible to predict the start and finish time of any particular item on the agenda. It may happen on occasion that the Chairman will use his discretion to re-arrange the running order of the agenda, depending on the level of public interest on an item or the amount of public speaking that may need to take place. This may mean that someone arranging to arrive later in order to only hear an item towards the middle or the end of the agenda, may miss that item altogether because it has been "brought forward" by the Chairman, or because the preceding items have been dealt with more speedily than anticipated. Therefore, if you are anxious to make certain that you hear any particular item being debated by the Planning Committee, it is recommended that you arrange to attend from the start of the meeting.

Background Papers

For the purposes of the Local Government (Access to Information) Act 1985, the following documents are to be regarded as standard background papers in relation to all items:

- Letters of representation from third parties
- Consultation replies from outside bodies
- Letters or statements from or on behalf of the applicant

AGENDA

Page nos.

- 1. Apologies**
To receive any apologies for non-attendance.
- 2. Minutes** **5 - 8**
To confirm the minutes of the meeting held on 16 November 2016 (copy attached).
- 3. Disclosures of Interest**
To receive any disclosures of interest from councillors under the Councillors' Code of Conduct, or contact with applicants/objectors under the Planning Code.
- 4. Planning Applications and other Development Control matters**
To consider and determine the planning applications and other development control matters detailed in the reports listed below.

 - a) 16/00819/FUL - Bridge House, Bridge Street, Staines-upon-Thames, TW18 4TW **9 - 20**
 - b) 16/01683/FUL - Venture House, 42 – 54 London Road, Staines-upon-Thames, TW18 4HF **21 - 44**
- 5. Planning Appeals Report** **45 - 48**
To note details of the Planning appeals submitted and decisions received between 4 November and the 1 December 2016.
- 6. Urgent Items**
To consider any items which the Chairman considers as urgent.

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**Minutes of the Planning Committee
16 November 2016**

Present:

Councillor R.A. Smith-Ainsley (Chairman)
Councillor H.A. Thomson (Vice-Chairman)

Councillors:

I.J. Beardsmore	N.J. Gething	R.W. Sider BEM
S.M. Doran	A.C. Harman	
M.P.C. Francis	A.T. Jones	

Apologies: Apologies were received from Councillor R.O. Barratt, Councillor J.R. Boughtflower, Councillor R. Chandler and Councillor D. Patel

In Attendance:

Councillors who are not members of the Committee, but attended the meeting and spoke on an application in or affecting their ward, are set out below in relation to the relevant application.

253/16 Minutes

The minutes of the meeting held on 19 October 2016 were approved as a correct record.

254/16 Disclosures of Interest

a) Disclosures of interest under the Members' Code of Conduct

There were none.

b) Declarations of interest under the Council's Planning Code

Councillors Doran, Gething, Harman, Sider, Smith Ainsley and Thomson reported that, in relation to application 16/01593/HOU 19 Clifford Avenue, Ashford TW15 2JS, they either knew the owner of the neighbouring property who was speaking against the planning proposal, or had had conversations with him but had maintained an impartial role, had not expressed any views and had kept an open mind.

255/16 16/01117/FUL - Land north of M3, Thames Side, Laleham

Description:

This application is for the retention of a pontoon that is attached to the riverbank alongside the River Thames north of the M3 Bridge. It is constructed of rubber/plastic and has a small recess on the downstream side to allow canoes from the adjacent Canoeing Club, to be accessed from both sides to aid safety and accessibility. The site is located within the Zone 3b functional flood plain, the Green Belt and the river is designated as a Site of Nature Conservation Importance.

It is considered that the design and limited size of the pontoon is acceptable and also is considered to be appropriate development within the Green Belt. There would be no significant flooding concerns and the pontoon would not result in any adverse impacts upon the landscaping and biodiversity of the surrounding area.

Additional Information:

The Assistant Head of Planning (Development Management) informed the Committee of the following:

The consultation response from Surrey Wildlife Trust raised no objection.

Public Speaking:

There was none.

Debate:

During the debate the following key issues were raised:

There was nothing contentious in this proposal.

It will promote good health for young people.

Decision:

Resolved to retain the existing pontoon that is attached to the riverbank alongside the River Thames north of the M3 Bridge to service canoeing centre.

256/16 16/01593/HOU - 19 Clifford Grove, Ashford TW15 2JS

Description:

This application seeks retrospective planning permission for the erection of an outbuilding which is situated in the north-western corner of the rear garden of 19 Clifford Grove. The outbuilding measures 5.608m in width and 4.108m in depth. It has a dual pitched roof with a ridge height of 3.6m and a height of 2.3m to the eaves. The outbuilding is situated 0.15m from the boundary with 21 Clifford Grove to the northeast and 1.3m from the rear boundary with 56 Parkland Grove to the northwest. Planning permission is required as the outbuilding exceeds the height allowed for an outbuilding situated within 2m from the boundary which may be built under 'permitted development'. The outbuilding is situated a minimum of 16m from the nearest dwelling house and is considered to have an acceptable impact on the amenity of adjoining residential properties and the character of the area.

The proposal complies with Policy EN1 (Design of New Development) of the Spelthorne Borough Core Strategy and Policies DPD (2009).

Additional Information:

There was none.

Public Speaking:

In accordance with the Council's procedure for speaking at meetings, Mr. Alex Burns, on behalf of Mr and Mrs Cameron of 17 Clifford Grove, spoke against the enforcement action raising the following key points:

- The large extension to the house has already been approved and the outbuilding was not part of that application.
- The extension should be subject to the Community Infrastructure Levy (CIL).
- There were errors in the original application (not sure this point should be included).

In accordance with the Council's procedure for speaking at meetings, Councillor Tony Mitchell spoke as Ward Councillor against the unauthorised use raising the following key points:

- The outbuilding is too close to the neighbour's fence.
- It could be used as a dwelling.
- If planning permission had been sought originally, there would have been a requirement to move the outbuilding further away from the neighbour's fence.

Debate:

During the debate the following key issues were raised:

- The application is retrospective
- It should be moved away from the boundary
- Fire safety concerns
- Concern if proposed condition 1 is breached
- Query over dimensions
- Nice garden outbuilding
- Conflicts with policy EN1
- No reasons to refuse
- Has an impact

- Does not have an impact
- Height, scale, bulk and proximity to the boundary, would have an overbearing impact on 21 Clifford Grove
- Out of character with the surrounding area

Decision:

Resolved to overturn and refused for the following reason:

The outbuilding, by reason of its height, scale, bulk and proximity to the boundary, would have an overbearing impact on the adjacent property, number 21 Clifford Grove and would be out of character with the surrounding area, contrary to policy EN1 of the Spelthorne Core Strategy and Policies DPD, 2009.

The Planning Committee also agreed to issue an enforcement notice requiring the removal of the outbuilding. The time period for compliance is 3 months. The reason for issuing the enforcement notice is the same as the reason for refusal.

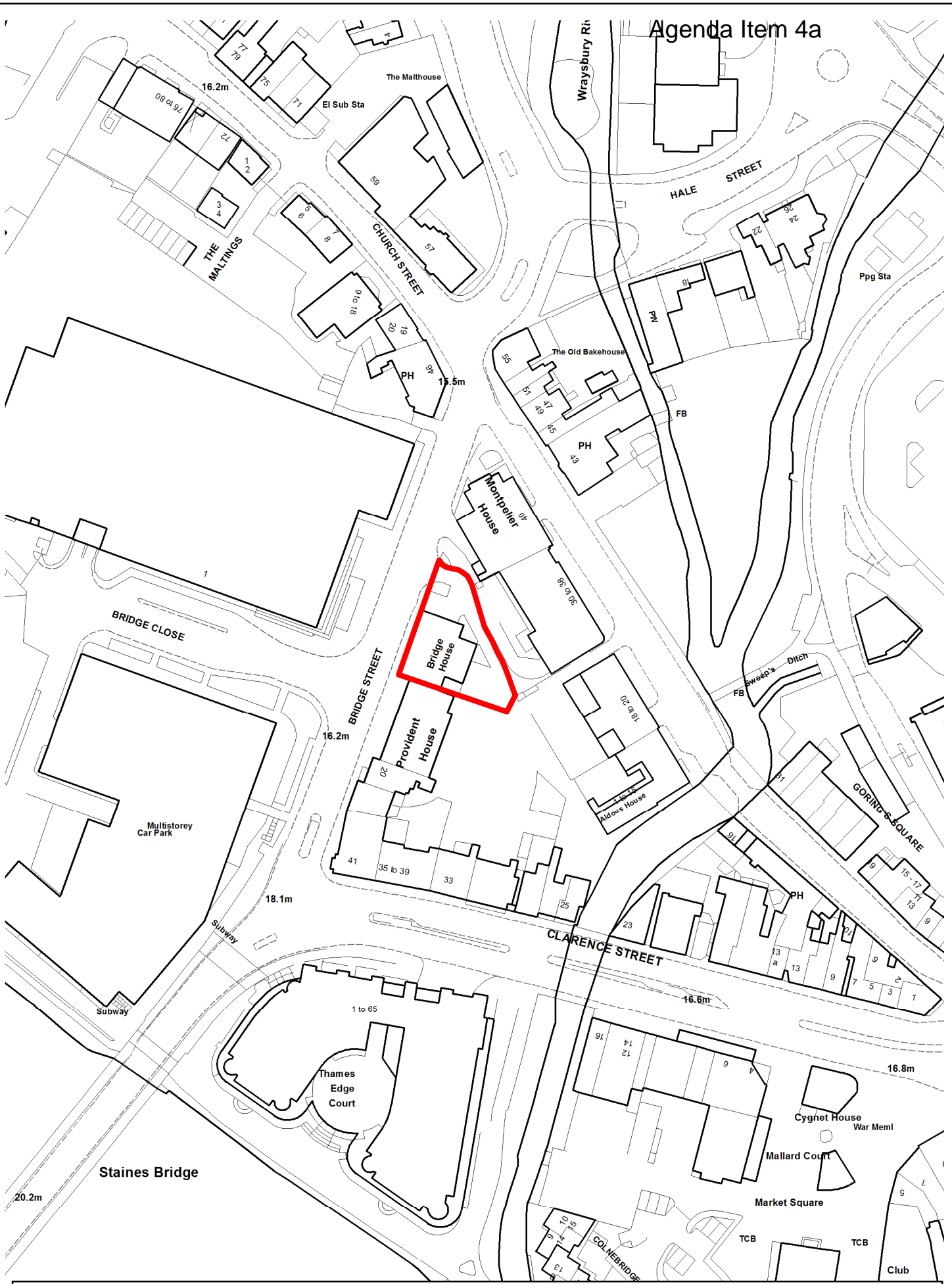
257/16 Planning Appeals Report

The Chairman informed the Committee that if any Member had any detailed queries regarding the report on Appeals lodged and decisions received since the last meeting, they should contact the Assistant Head of Planning and Housing Strategy.

Resolved that the report of the Assistant Head of Planning and Housing Strategy be received and noted.

258/16 Urgent Items

There were none.



1:1,250

16/00819/FUL
Bridge House, Bridge Street, Staines-upon-Thames TW18 4TW

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Application No.	16/00819/FUL		
Site Address	Bridge House, Bridge Street, Staines-upon-Thames,		
Proposal	Erection of one additional floor level to the existing building, creating a second floor and change the use of the existing office building into residential thus providing 2 no. one bed apartments and 7 no. two bed apartments with associated car parking.		
Applicant	Mr M Boon		
Ward	Staines		
Call in details	None		
Case Officer	Matthew Clapham		
Application Dates	Valid: 23.05.16	Expiry: 18.07.16	Target: Over 8 weeks
Executive Summary	<p>The application site is an existing three storey office building with undercroft car parking located on the western side of Bridge Street. The site is located within the Staines Conservation Area, the Staines Town Centre Employment Zone, the Zone 3a Flood Risk Area (1 in 100 year event) and adjoins an Area of High Archaeological Importance. The building is currently in a B1 office use.</p> <p>The proposal would involve the creation of 9 residential flats through the conversion of the existing office building into residential and the erection of an additional storey. 14 car parking spaces are provided in the undercroft area and to the rear in an open external parking area. 9 bicycle spaces are also to be provided. Permission has already been granted for the erection of the additional storey, originally to have formed part of an extended office building. This proposal is slightly amended in that small balconies are to be provided to each of the flats as well as fenestration changes and rooflights.</p> <p>The proposed conversion to residential and the additional storey extension are considered acceptable and would not be detrimental to the character and appearance of the area, would preserve and enhance the appearance of the Conservation Area and would not impact upon the employment area. No ground floor extensions are proposed and as such, no flooding risks arise. A safe means of escape in the event of a flood for future occupiers of the flats is provided via Staines Bridge and onto the Causeway in Egham. Satisfactory parking and amenity space is provided in a sustainable location and no highway safety risks would arise.</p>		

	Subject to final comments from the Councils Environmental Health Officer, it is not considered that there would be any adverse impacts in terms of Air Quality.
Recommended Decision	This application is recommended for approval subject to conditions.

MAIN REPORT

1 DEVELOPMENT PLAN

1.1 The following policies in the Council's Core Strategy and Policies DPD 2009 are considered relevant to this proposal:

- LO1 - Flooding
- EM1 - Employment Development
- EN1 - Design of New Development
- EN6 - Conservation Areas
- CC3 - Parking Provision

2 RELEVANT PLANNING HISTORY

2.1 14/01259/FUL
Erection of proposed additional floor level and new pitched roof
Grant Conditional 15.10.2014

15/01179/RVC
Variation of Condition 5 of approval no. 14/01259/FUL to substitute drawing no's L2148/12B and 03A with drawing no's L2148/12C and 03C to reflect minor alterations to the elevations to include a raised pediment to allow for the lift over-run.
Grant Conditional 29.10.2015

3 DESCRIPTION OF CURRENT PROPOSAL

3.1 The application site is a two / three storey office building located on the eastern side of Bridge Street. It is at the end of a terrace of buildings. There is parking provided in a sub-basement area on the lower ground floor with two levels of offices above and additional parking spaces provided to the rear of the building. The site is located within the Staines Conservation Area, is in the proximity to a number of Listed and locally listed buildings. The site is also located mainly within zone 3a (1 in 100 year event) Flood Risk Zones. The site is also within the Staines Town Centre Employment Area.

3.2 This proposal would involve the creation of 9 residential flats through the conversion of the existing office building into residential and the erection of an additional storey. The mix of flats would comprise 2 no. 1 bed flats and 7 no.2 bed flats. Small balconies are to be provided for each unit. 14 car parking spaces are provided, 10 in the undercroft area and to the rear and 4 in an

external open parking area. 9 bicycle spaces are also to be provided. The proposal represents an amendment to the original submission which was for an additional two storey's on top of the existing building and conversion of the office into residential to provide 12 flats.

- 3.3 A copy of the existing and proposed elevations and site plan / car parking layouts of the site are attached as an Appendix.

4 CONSULTATIONS

- 4.1 The following table shows those bodies consulted and their response

Consultee	Comment
Environmental Health	Requested an Informative regarding Contaminated land. Comments regarding air Quality are awaited and the Planning Committee shall be updated.
County Highway Authority	No highway requirements.
Heritage Consultant	No adverse comments.
Staines Town Society	Awaiting comments on amended scheme. Previously didn't object in principle and raised issues over cycle parking, design, parking.

5 PUBLIC CONSULTATION

29 neighbour notification letters were sent, with no letters of objection received to date.

6 PLANNING ISSUES

- Principle
- Design, Appearance and Visual Impact within Conservation Area
- Residential Amenity
- Parking and Highway Safety
- Flooding

7 PLANNING CONSIDERATIONS

Principle

- 7.1 The application site is located within the Staines Employment Area. Policy EM1 of Spelthorne's Core Strategy and Policies Development Plan Document resists the loss of employment floorspace within designated areas.

- 7.2 However it should be noted that as a 'fall back' position, the existing office building could potentially be converted into flats in the event that a Prior Approval Notification was submitted and no objections were raised in terms of Contamination, Highway Safety, Noise or Flooding. The property next door to the south, Provident House, is currently undergoing a refurbishment and conversion into flats having had Prior Approval Granted for its conversion. In addition, there have been a number of other residential and conversion permissions which have been granted in the vicinity of the site.
- 7.3 Therefore, in particular with the 'fall back' position of the Conversion into residential through the prior Approval route, it is not considered that an objection in principle to the conversion of the existing building into residential could be sustained.

Design, Appearance and Visual Impact within the Staines Conservation Area

- 7.4 In design terms, the additional storey and the alterations to provide balconies is considered acceptable. The adjoining property (Provident House), which as stated in paragraph 7.2 above is currently being converted into residential and is also being extended by an additional storey. This extension was allowed on appeal. In allowing the appeal, the Inspector considered that the additional storey to that building would not have any adverse impacts upon the character and appearance of the area. The Inspector noted that in his opinion, Provident House made a negative contribution to the appearance of the area. The Inspector referred to the design of this application building at Bridge House and that it had an approval for an additional storey and that there is considerable variety in the scale, form, design and materials such that there is no discernible pattern or uniformity. In addition, such was the amount of development in the area, including the Strada site opposite and Bridge House, it was evident that this is not a sensitive location within the Conservation Area where alterations and additions to buildings are precluded.
- 7.5 The Council's heritage consultant is satisfied with the proposed design in terms of the Historic Environment and have not raised any significant concerns. The Staines Town Society raised no objection to the original submission and comments are awaited on the amended plans. The additional storey has been designed to respect the appearance of the existing building and a pitched roof is provided with a small parapet wall, partly to screen some of the lift overrun. The balconies are largely on the rear elevation and not readily visible from the public domain and are relatively small and sensitively designed using glazing.
- 7.6 Section 72 of the Listed Building Act 1990 requires a planning authority to pay 'special attention' to the desirability of preserving or enhancing the character or appearance of that area. For the reasons set out above, it is considered that the proposal would enhance the character and appearance of the Conservation Area. Therefore it would comply with policy EN1 of the CS&P DPD which promotes a high standard of design and policy EN6 which seeks to ensure development contributes to the preservation or enhancement of the Conservation Area.

Residential Amenity

- 7.7 Given the separation distances and orientation in relation to any adjoining properties, it is not considered that the proposed extension or alterations would

have any adverse impact upon the adjoining offices nor the residential amenity enjoyed by any residential properties, which generally comprise a small number of flats above commercial uses some distance away. As such there would be no adverse impacts in terms of loss of light, overlooking or visual intrusion.

- 7.8 For the future occupiers of the flats, there is limited amenity space being provided in the form of small balconies. This is well below the required amount of amenity space set out in the SPD. However, as stated previously, the 'fall back' position of conversion to residential is noted, together with the site's sustainable town centre location with the riverside in close proximity. The Gross Internal Floor space provided for each flat also is considered to be acceptable for this location. The size of each individual unit also complies with the Technical Housing Standards - Nationally Described Space Standards published in March 2015 as well as the Council's own Space Standards listed in the Design SPD. Therefore it is not considered that an objection in amenity terms could be sustained.

Parking and Highway Safety

- 7.9 With regards to Parking and Highway matters, the proposal utilises the existing access to the building and would provide 14 parking spaces, including one disabled space by the lift access and also 9 bicycle spaces. The Council's Supplementary Planning Guidance for Parking Standards requires that 13 spaces should be provided although within Staines Town Centre, a reduction would be acceptable. In view of the town centre location and proximity to public transport services the parking provision is considered acceptable.
- 7.10 The County Highway Authority have undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway and have no requirements.

Flooding

- 7.11 The site is located within an Area Liable to Flood. There are no additional extensions at ground floor level so there would be no impact upon the flood storage capacity or the flow of flood water. A safe means of escape in the event of a flood for future occupiers of the flats is provided via Staines Bridge and onto the Causeway in Egham.

Other Matters

- 7.12 The Environmental Health Officer (EHO) previously raised potential Air Quality Issues. However that was as part of the original submission for 12 units which has subsequently been amended to 9 units and therefore is no longer a 'Major' application (less than 10 units) and an Air Quality Assessment is not automatically required. No objections were raised to the Provident House development on the adjoining site and it is considered that any Air Quality concerns may be dealt with via a condition. Final comments from the EHO will be reported to the Planning Committee.

Conclusion

- 7.13 The proposed conversion to residential, the addition of balconies and additional extension to provide an additional storey by virtue of its design and style would not have a harmful impact on the character and appearance of the Conservation Area. There would be no detrimental impact upon the Staines Town Centre Employment Area. The separation distances to adjoining properties and dwellings means it would not have a harmful impact upon their amenities. There are no highway safety concerns and satisfactory parking and amenity space is provided.

8 RECOMMENDATION

- 8.1 The application is recommended for approval subject to the following conditions:

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:-.This condition is required by Section 91 of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Before any work on the development hereby permitted is first commenced details of the materials and detailing to be used for the external surfaces of the building(s) and surface material for parking areas be submitted to and approved by the Local Planning Authority.

Reason:-.To ensure that the proposed development does not prejudice the appearance of the development and the visual amenities and character of the locality in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

3. No new development shall be occupied until space has been laid out within the site in accordance with the approved plans for cars to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. The parking/turning area shall be used and retained exclusively for its designated purpose.

Reason:-.The above condition is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users

4. No new development shall be occupied until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority to provide provide secure cycle parking

to the satisfaction of the Local Planning Authority and shall thereafter be permanently maintained.

Reason:-The above condition is required in order that the development should reduce reliance upon the private car.

5. No development shall commence until a report has been submitted to and agreed by the Local Planning Authority which includes details and drawings demonstrating how 10% of the energy requirements generated by the development as a whole will be achieved utilising renewable energy methods and showing in detail the estimated sizing of each of the contributing technologies to the overall percentage. The detailed report shall identify how renewable energy, passive energy and efficiency measures will be generated and utilised for each of the proposed buildings to meet collectively the requirement for the scheme. The agreed measures shall be implemented with the construction of each building and thereafter retained and maintained to the satisfaction of the Local Planning Authority unless otherwise agreed in writing.

Reason:- To ensure that the development is sustainable and complies with Policy SP7 and CC1 of the Spelthorne Development Plan Core Strategy and Policies DPD.

6. That within 3 months of the commencement of any part of the development permitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the curtilage of the site for the storage of refuse and waste materials in accordance with details to be submitted to and approved by the Local Planning Authority before any work on the development hereby permitted is first commenced, and thereafter the approved facilities shall be maintained as approved.

Reason:- To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

7. The development hereby permitted shall be carried out in accordance with the following approved plans: L2148/LP rev B; 02 rev B; 03 rev G; 11 rev A; 12 rev H; 13; 14 rev A; 15 and 16 rev A received 25.10.2016.

Reason:- For the avoidance of doubt and in the interest of proper planning.

INFORMATIVES TO APPLICANT

1. Article 2 (3) Development Management Procedure (Amendment) Order 2015 Working in a positive/proactive manner
In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 186-187 of the NPPF. This included the following:-

Provided or made available pre application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development.

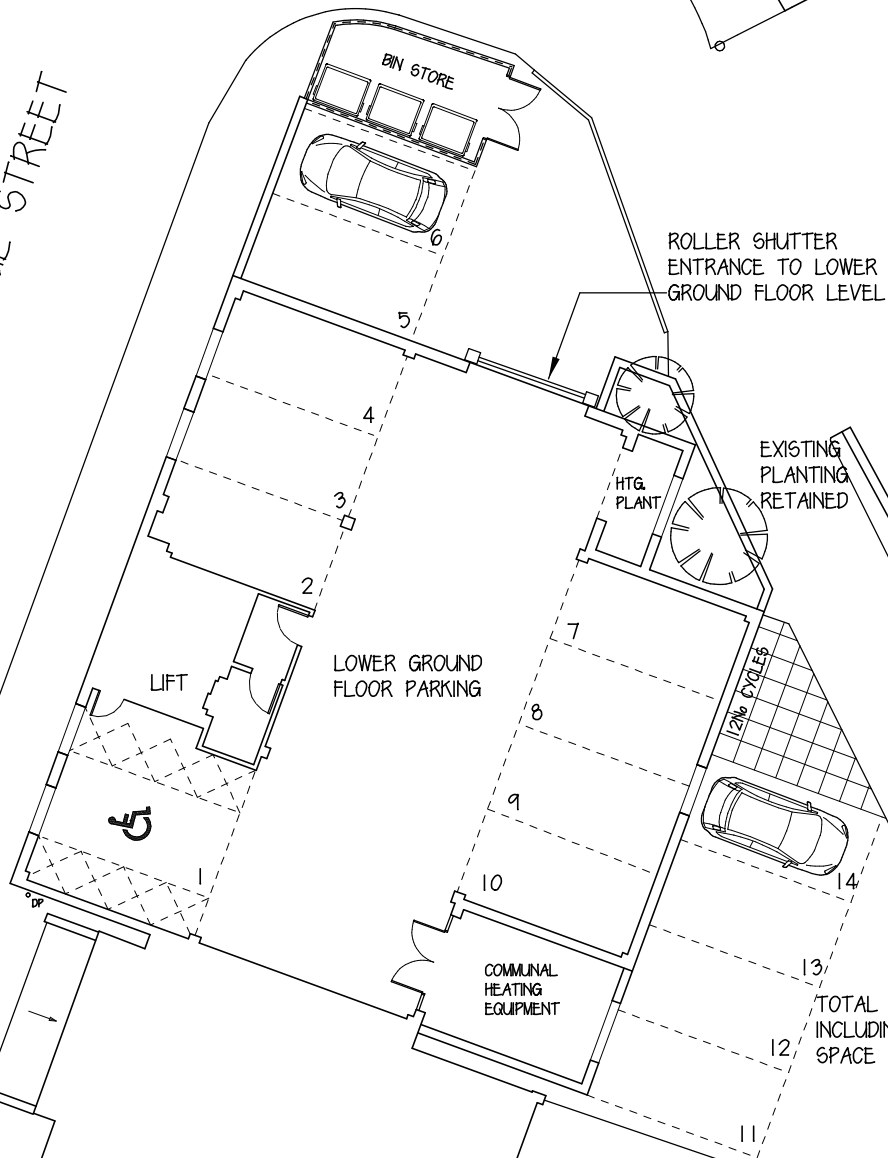
2. Please note that this application is subject to the payment of Community Infrastructure Levy (CIL). Full details of the charge, how it has been calculated and what happens next are set out in the CIL Liability Notice which will be sent separately.

If you have not already done so an Assumption of Liability notice should be sent to the Council as soon as possible and before the commencement of development.

Further information on CIL and the stages which need to be followed is available on the Council's website. www.spelthorne.go.uk/CIL.



BRIDGE STREET



TOTAL 14No CAR PARKING SPACES INCLUDING DESIGNATED DISABLED SPACE AND 12No CYCLE RACKS



ROBERT DAVIES JOHN WEST LIMITED
 RIBA Chartered Practice

The Courtyard 59 Church Street
 Staines upon Thames Middx TW18 4XS
 Tel: 01784 459211 E-mail: info@rdjw ltd.com

DATE
 15/07/14

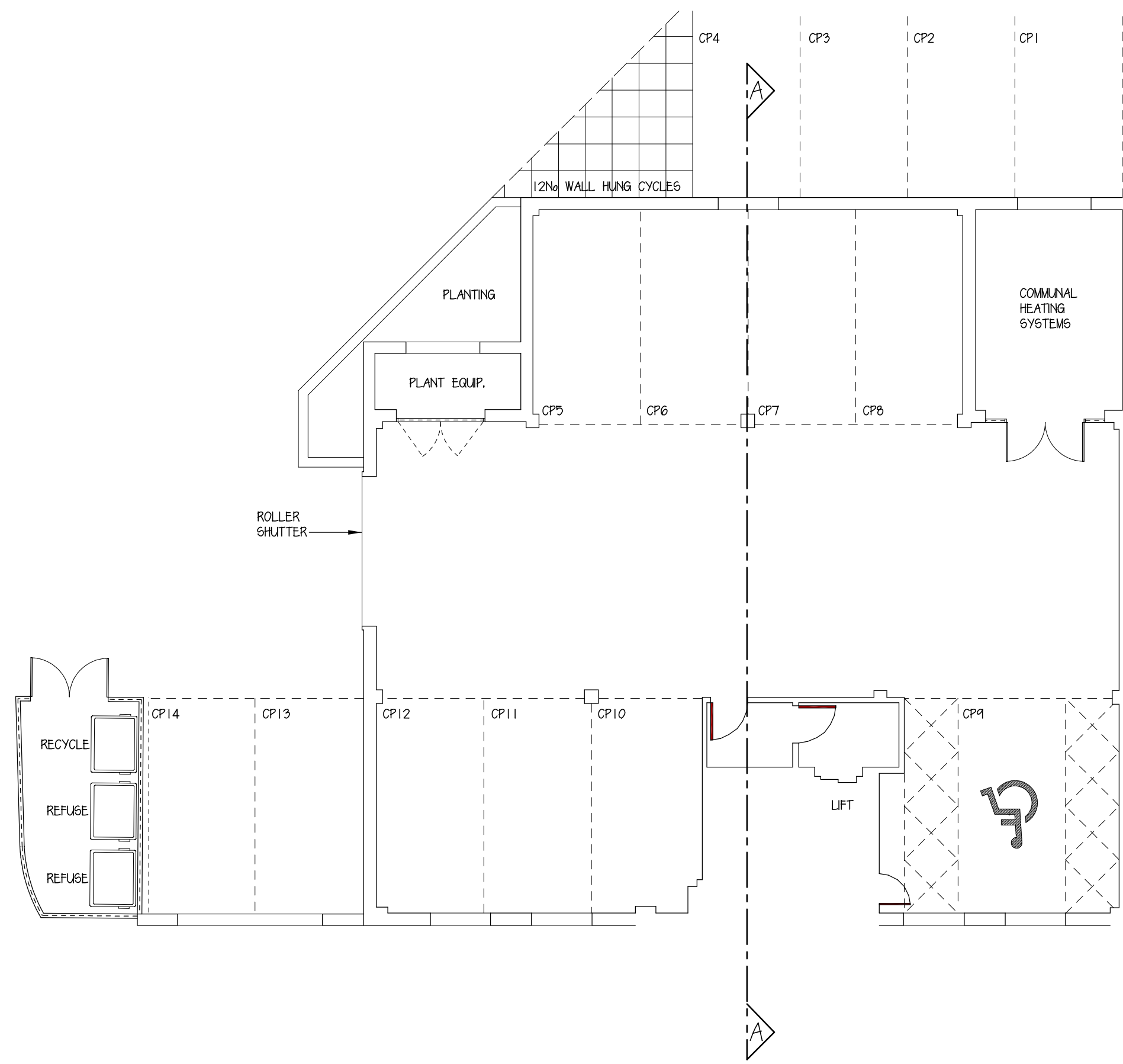
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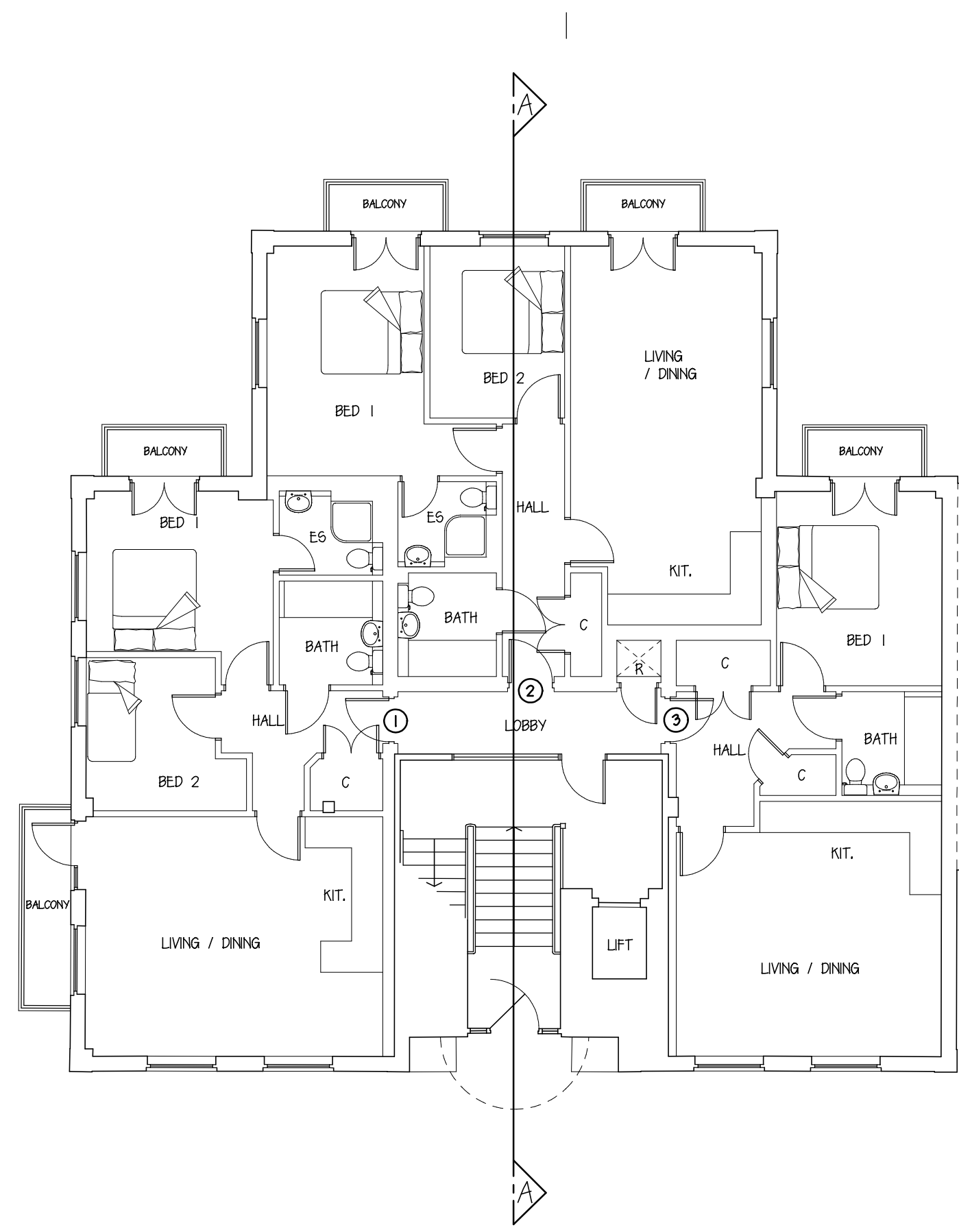


PROPOSED DEVELOPMENT,
 BOON HOUSE, BRIDGE STREET
 STAINES-UPON-THAMES
 PROPOSED SITE LAYOUT

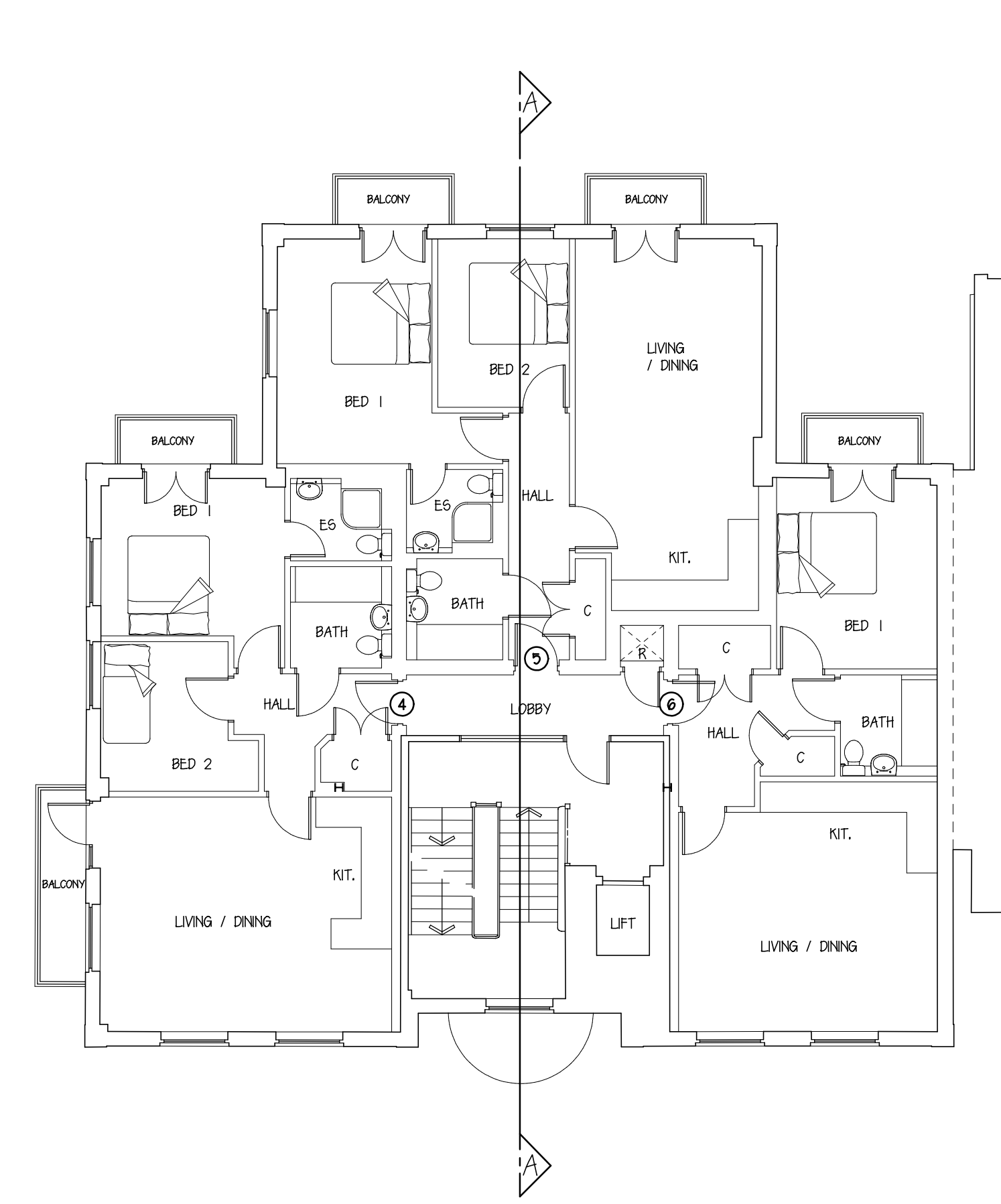
DRWG No **L2148/16** REV **A**



LOWER GROUND FLOOR - EXTG. / PROP. PARKING AREA



UPPER GROUND FLOOR - PROP. RESIDENTIAL FLATS

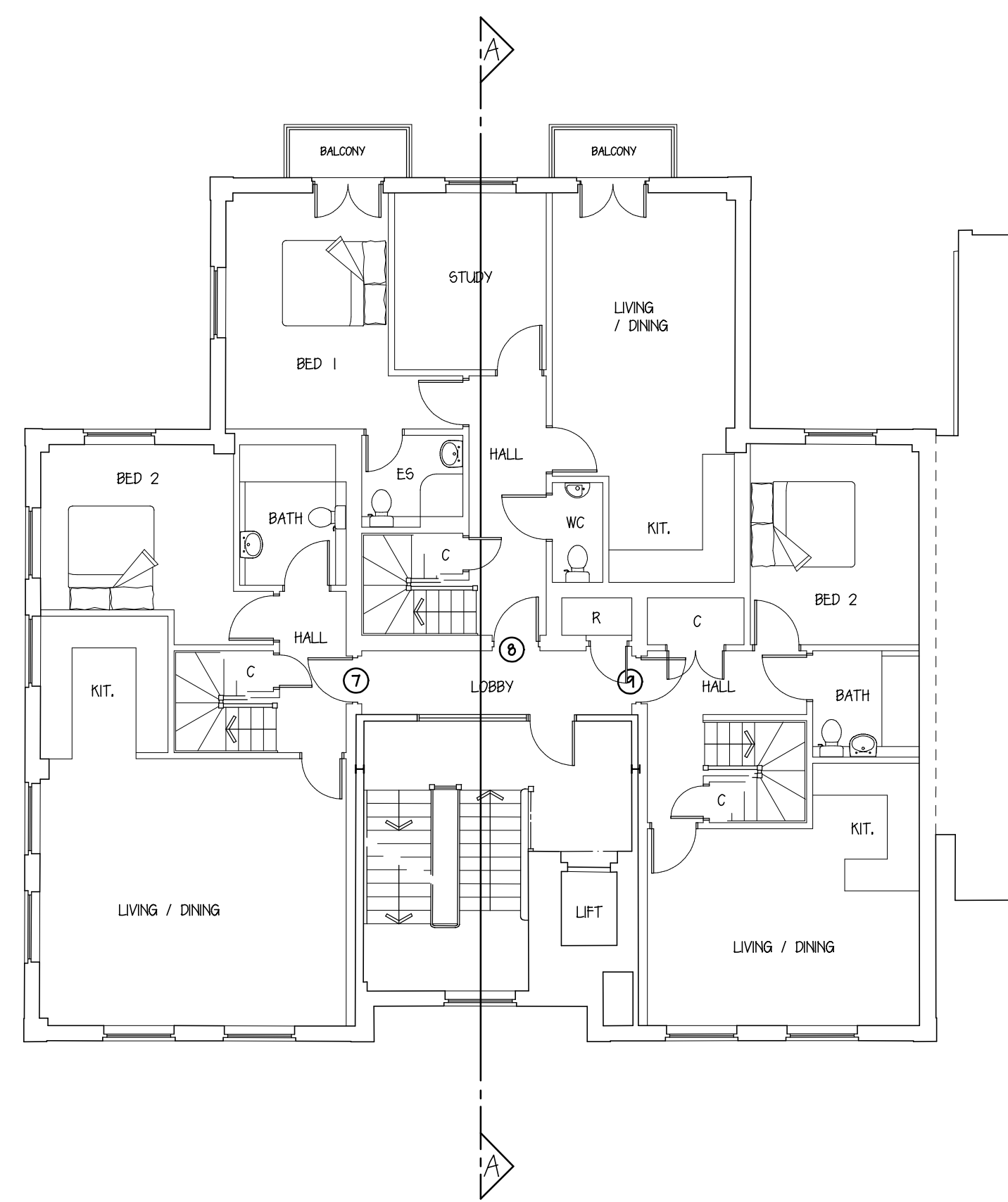


1st FLOOR - PROP. RESIDENTIAL FLATS

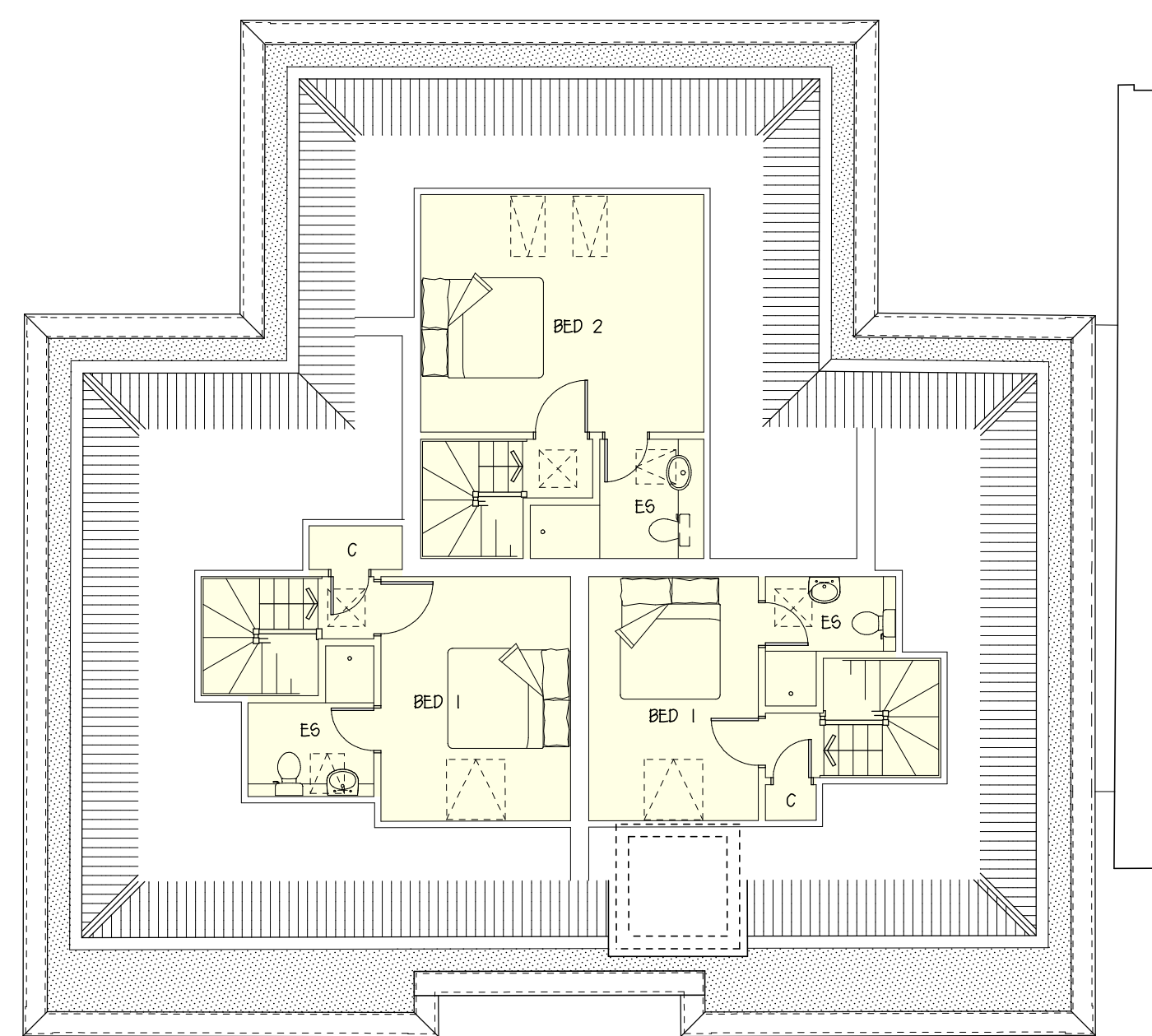
- NOTES
- 1 THE CONTRACTOR IS RESPONSIBLE FOR ALL GETTING OUT AND MUST CHECK DIMENSIONS ON SITE BEFORE WORK IS PUT IN HAND
 - 2 WRITTEN DIMENSIONS ONLY TO BE TAKEN THIS DRAWING MUST NOT BE SCALED
 - 3 THE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED OF SUSPECTED OMISSIONS OR DISCREPANCIES

SCHEDULE OF ACCOMODATION

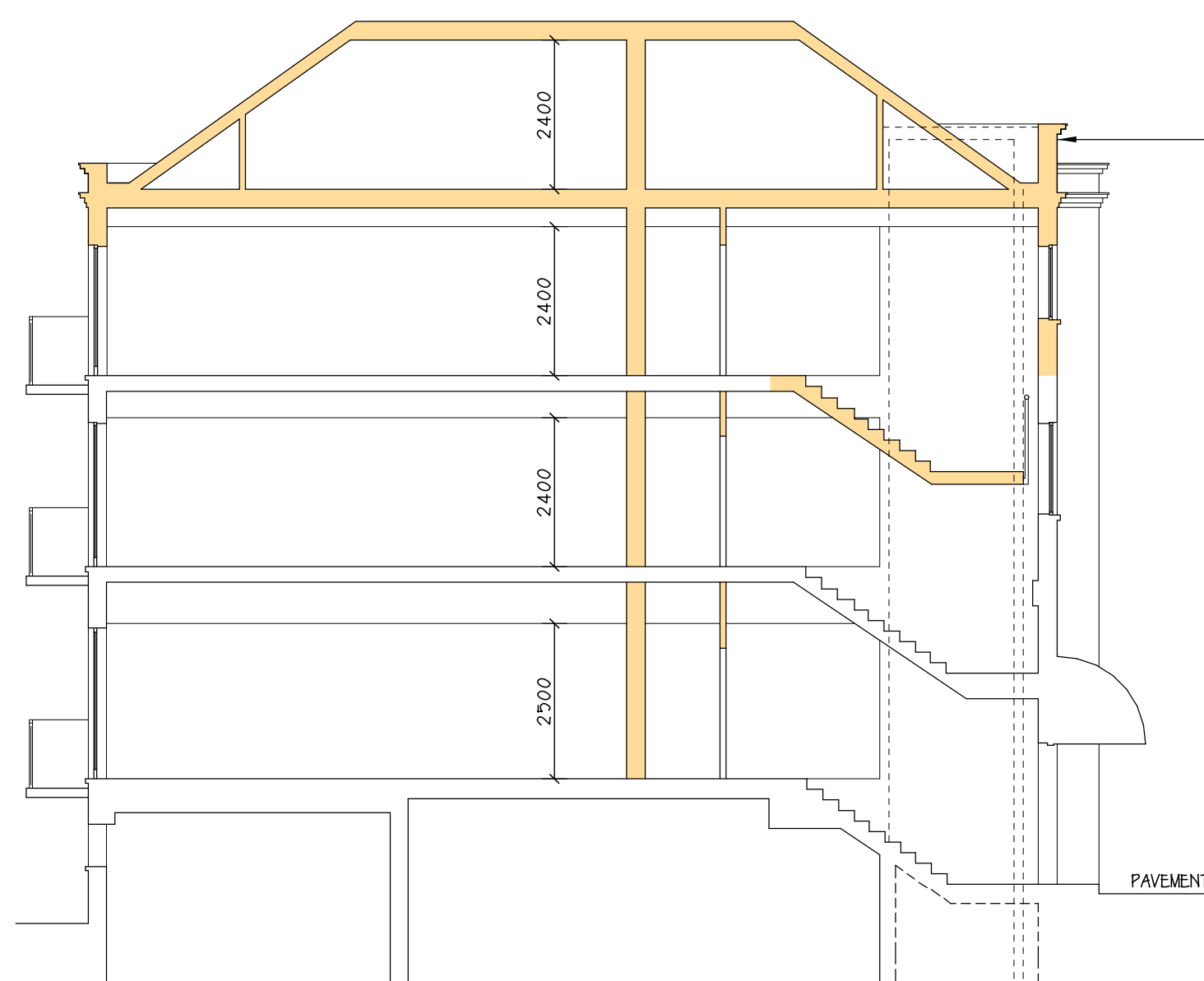
FLAT #1	62.67m ² / 675ft ²	- 2 BEDROOM
FLAT #2	66.73m ² / 718ft ²	- 2 BEDROOM
FLAT #3	50.28m ² / 541ft ²	- 1 BEDROOM
FLAT #4	62.67m ² / 675ft ²	- 2 BEDROOM
FLAT #5	66.73m ² / 718ft ²	- 2 BEDROOM
FLAT #6	50.28m ² / 541ft ²	- 1 BEDROOM
FLAT #7	81.27m ² / 875ft ²	- 2 BEDROOM
FLAT #8	89.28m ² / 961ft ²	- 2 BEDROOM
FLAT #9	66.04m ² / 711ft ²	- 2 BEDROOM



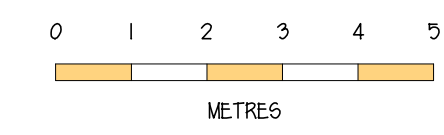
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3rd FLOOR - UPPER DUPLEX FLOOR



SECTION A-A



G	4th FLOOR OMITTED	11/10/16
F	ROOF AMENDED	RN 02/06/16
E	PITCHED ROOF OMITTED, BALCONIES ADDED	28/07/16
D	ALL FLATS WITH EXTRA FLOOR ADDED	26/04/16
C	LIFT SHAFT OVER-RUN SHOWN ON PLAN & SECTION	10/08/15
B	NEW PITCHED ROOF INDICATED AS PROP. ELEVLS	14/01/15
A	RESCALE THE BUILDING AS MEASURED	AJ 24/08/14
REVISION		CHECKED DATE

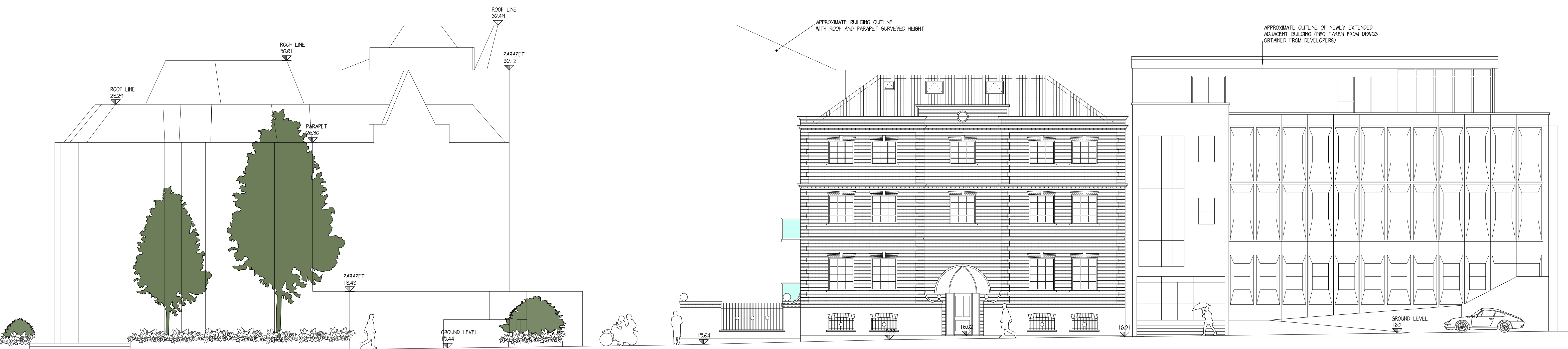
ROBERT DAVIES JOHN WEST LIMITED
 RIBA Chartered Practice
 The Courtyard 59 Church Street
 Staines upon Thames Middlesex TW18 4XS
 Tel: 01784 459211 E-mail: info@rdjwtd.com

DATE: 23/06/14
 SCALE: 1:100 @ A1
 DRAWN: AJ
 CHECKED:

PROPOSED EXTENSION,
 BOON HOUSE
 BRIDGE STREET
 STAINES

PROPOSED PLANS
 & CROSS SECTION
 DWG NO: **L2148/03** REV: G

- NOTES
- 1 THE CONTRACTOR IS RESPONSIBLE FOR ALL GETTING OUT AND MUST CHECK DIMENSIONS ON SITE BEFORE WORK IS PUT IN HAND
 - 2 WRITTEN DIMENSIONS ONLY TO BE TAKEN THIS DRAWING MUST NOT BE SCALED
 - 3 THE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED OF SUSPECTED OMISSIONS OR DISCREPANCIES



FRONT ELEVATION BRIDGE STREET VIEW



- EXTERNAL MATERIALS:
- ROOF - SINGLE PLY MEMBRANE LAID TO FALLS TO PARAPET OUTLETS / HOPPERS
 - HOPPERS & DOWNPIPES - ALUMINIUM POWDER COATED BLACK
 - COPING - RECONSTITUTED STONE (TO MATCH KEYSTONES)
 - WALLS - STOCK FACING BRICKWORK AND CONTRASTING RED FEATURE BRICKWORK, INCLUDING STRING COURSING / QUOINS AND DENTILATION (TO MATCH EXISTING)
 - PLINTH - RENDER PAINTED OFF-WHITE
 - WINDOWS - WHITE uPVC SASH TYPE
 - ENTRANCE SCREEN DOORS - TIMBER PAINTED BLACK

Page 20

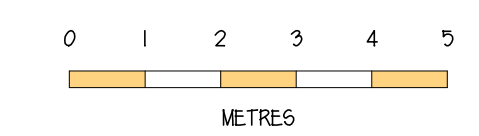


SIDE ELEVATION

SIDE ELEVATION



REAR ELEVATION



H 4th FLOOR OMITTED - REDRAWN 11/10/16
 REVISION CHECKED DATE

ROBERT DAVIES JOHN WEST LIMITED
 RIBA Chartered Practice

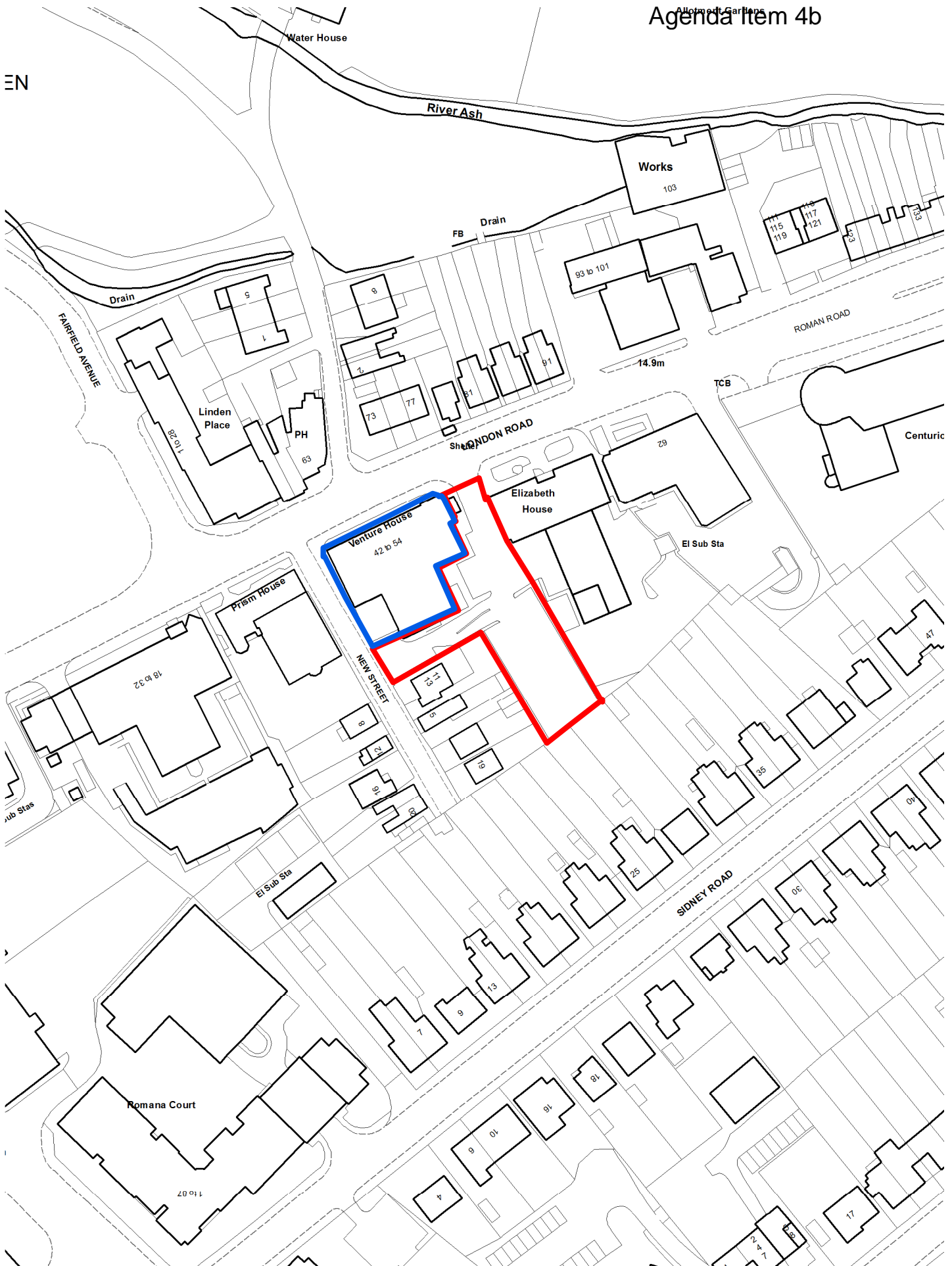
The Courtyard 59 Church Street
 Staines upon Thames Middx TW18 4XS
 Tel: 01784 459211 E-mail: info@rdjwtd.com

DATE 11/10/12
 SCALE 1:100 @ A1
 DRAWN BY
 CHECKED

PROPOSED ELEVATIONS

DWG NO **L2148/12** REV H

EN



1:1,250

16/01683/FUL
Venture House, 42-54 London Road,
Staines-upon-Thames, TW18 4HF

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Planning Committee

14 December 2016



Application Nos.	16/01683/FUL		
Site Address	Venture House, 42 – 54 London Road, Staines upon Thames		
Proposal	Removal of surface level car park and erection of a two-storey block of 6 flats (4 no. 1-bed and 2 no. 2-bed) together with associated car and cycle parking, bin storage and landscaping.		
Applicant	Inland Homes Dev. Ltd		
Ward	Staines		
Call in details	N/A		
Case Officer	Paul Tomson		
Application Dates	Valid: 21.10.2016	Expiry: 16.12.2016	Target: Under 8 weeks
Executive Summary	<p>This application is seeks the removal of the existing surface level car park at the rear of the site and the erection of a 2-storey building to provide 6 flats. Whilst the site is located within a designated Employment Area, Prior Approval was granted in January 2015 to convert the offices to residential and it is therefore considered that the Council could not object to the loss of the commercial car parking area. (a further Prior Approval for 31 flats has since been approved). The design and scale of the new building is in keeping with the character of the area. The development will have an acceptable relationship with the neighbouring residential properties in New Street and Sidney Road. Satisfactory levels of amenity space and parking will be provided. Furthermore, the scheme is considered acceptable in flood risk terms.</p>		
Recommended Decision	This application is recommended for approval		

MAIN REPORT

1. Development Plan

1.1 The following policies in the Council's Core Strategy and Policies DPD 2009 are considered relevant to this proposal:

- LO1 (Flooding)
- EM1 (Employment Development)
- HO4 (Housing Size and Type)
- HO5 (Housing Density)
- EN1 (Design of New Development)
- CC1 (Renewable Energy, Energy Conservation and Sustainable Construction)
- CC3 (Parking Provision)

2. Relevant Planning History

SP/97/0594	Redevelopment to provide 3-storey office building, with car parking (including basement car parking) and associated works.	Approved 22/04/1998
14/02058/PDO	Prior Approval Notification for the change of use from offices (Use Class B1a) to residential (Use Class C3) comprising 29 flats.	Prior Approval Given 20/01/2015
15/00654/FUL	Removal of surface level car park and erection of a two-storey block of 6 flats (4 no. 1-bed and 2 no. 2-bed) together with associated amenity space.	Withdrawn 15/07/2015
15/01352/FUL	Removal of surface level car park and erection of a two-storey block of 6 flats (4 no. 1-bed and 2 no. 2-bed) together with associated amenity space.	Approved 18/01/2016
16/00978/PDO	Prior Approval Notification for the change of use from offices (Use Class B1) to Residential (Use Class C3) comprising 31 flats.	Prior Approval Given 09/08/2016
16/01605/FUL	Alteration to the elevations of the existing building including changes to the fenestration, installation of louvres to the rear and smoke vent on the roof to facilitate the conversion to residential.	Approved 16/11/2016

3. Description of Current Proposal

- 3.1 The application relates to Venture House, 42 – 54 London Road, which is a 3-storey office building located on the southern side of the road. It has a basement car park, and a surface level car park located towards the rear of the site. The site is located within a designated Employment Area. It is also within an area liable to flood: Zone 2, which has between 1 in 100 year and 1 in 1000 year chance of flooding.
- 3.2 To the east is the adjacent 3-storey office block of Elizabeth House and its associated car park. To the west are the residential properties of 11 – 19 New Street. Further to the west on the other side of New Street is the commercial building of Prism House. To the south are the dwellings of 27 and 29 Sidney Road and their rear gardens.
- 3.3 The proposal involves the removal of the surface level car park and the erection of a 2-storey block of 6 flats. The proposed building will measure 15.46m in depth, 14.80m in width and 6.3m in height. It will be faced in a mix of coloured render and buff brickwork. A communal amenity space will be provided. The proposed dwelling mix will comprise 4 no. 1-bed and 2 no. 2-bed units. 6 no. designated parking spaces (1 per unit) will be provided; 4 of them will be situated on the eastern side of the existing building of Venture House, whilst the other 2 will be located immediately in front of the proposed building.
- 3.4 The proposal differs from the previous approved scheme (15/01352/FUL) in that the design and appearance of the building has changed. In particular, the previous pitched roof design has been replaced with a 'Mews-style' flat roof design. The external treatment is also different with the ground floor faced in cream coloured render and the first floor in buff brickwork compared with the previously approved building which was entirely buff brickwork. The location of the car parking spaces has also changed with them located closer to the new building.
- 3.5 It is relevant to note that in August 2016 Prior Approval was granted under the Government's relaxation of Permitted Development rights to convert Venture House from Offices (Use Class B1a) to Residential (Use Class C3) to provide 31 flats (16/00978/PDO). Planning permission has since been approved for external alterations to the existing building (16/01605/FUL), and for new bin stores and additional car parking spaces (16/01616/FUL). At the time of the officer's recent site visit, the contractors due to implement the conversion of the existing building to flats were present on the site.
- 3.6 It should be noted that compared with the previous approved scheme, 15/01352/FUL, the current proposal has a marginally smaller footprint, higher eaves level but a lower overall height and is located in a very similar position.

- 3.7 Copies of the proposed site layout, floor plans and elevations are provided as an Appendix. In addition, copies of the approved site layout, floor plans and elevations are attached as an Appendix.

4. **Consultations**

- 4.1 The following table shows those bodies consulted and their response.

Consultee	Comment
County Highway Authority	No objection.
Environmental Health (Pollution)	No objection subject to conditions relating to contaminated land and air quality.
Environment Agency	No objection subject to conditions.
Street Scene	No objection.
County Archaeologist	No objection subject to a condition.

5. **Public Consultation**

- 5.1 31 neighbouring properties were notified of the planning application. 4 letters of objection has been received raising the following issues:

- Increase in traffic and parking.
- Overlooking/loss of privacy. Impact will be made worse with the proposed Juliet balconies.
- Noise and dust during construction
- Lack of screening along the rear (southern) boundary. The previous planning permission proposed tree planting.
- Question the need for 6 flats in this location. The land would be better used as a communal garden for the other flats in Venture House.
- Overdevelopment of the site with limited parking.

6 **Planning Issues**

- Loss of designated Employment Land/Principle
- Housing size and type
- Housing density
- Design and appearance
- Impact on neighbouring residential properties
- Amenity space
- Parking/Loss of existing parking
- Flooding

7 **Planning Considerations**

Loss of designated Employment Land/Principle

- 7.1 The site is located within a designated Employment Area. Policy EM1 of the Core Strategy and Policies DPD 2009 (CS & P DPD) stipulates that there

shall be no loss of employment land or floorspace within an Employment Area. Whilst the proposal will result in the loss of part of the site (i.e. the surface level car park) to residential, it is not considered that the Council could resist the loss of this particular area of designated employment. As mentioned above, in August 2016 Prior Approval was granted for the change of use of the entire site from offices to residential comprising 31 flats. Both the basement and surface level car park was to be used for parking in association with the new flats. Whilst the applicant has recently applied to the Local Planning Authority for a Non-Material Amendment to reduce the level of car parking from 59 to 27, the loss of the employment use of the site and the principle of residential development has already been accepted.

Housing Density

- 7.2 Policy HO5 of the CS & P DPD states that within higher density residential areas, including those characterised by a significant proportion of flats and those containing significant Employment Areas, new development should generally be in the range of 40 – 75 dwellings per hectare (dph). Higher density development may be acceptable where it is demonstrated that the development complies with Policy EN1 of the CS & P DPD on design, particularly in terms of its compatibility with the character of the area and is in a location that is accessible by non car-based modes of travel.
- 7.3 Whilst the main part of the site is still occupied as offices, the proposed residential density for the southern part of the site where the block of flats is to be sited is 108 dph. However, this does not include the area covered by the 4 designated parking spaces situated next to the eastern side of Venture House or the access thereto, which would if included, lower the density level. If the existing office building is converted to residential and the proposed block of 6 flats implemented, the residential density for the overall site would 185 dph. The proposed building and associated amenity space is considered to be acceptable in design terms and complies with Policy EN1, which is explained in detail in the following paragraphs. Moreover, the site is in a location that is accessible by non car-based modes of travel. A consequence of higher residential density is that a lower parking provision is provided compared to that stipulated in the Council's Parking Standards. However, limited parking provision may still be acceptable in town centre locations with access to non car-based modes of transport. Consequently, the proposed housing density is considered acceptable in this particular location.

Design and Appearance

- 7.4 Policy EN1a of the CS & P DPD states that the Council will require a high standard in the design and layout of new development. Proposals for new development should demonstrate that they will create buildings and places that are attractive with their own distinct identity; they should respect and make a positive contribution to the street scene and the character of the area in which they are situated, paying due regard to the scale, height, proportions, building lines, layout, materials and other characteristics of adjoining buildings and land.

- 7.5 It is considered that the proposed design and appearance is acceptable and is in keeping with the character with the area. The new building will be set back from the London Road frontage and there will be only limited views of it through the gap between the existing office buildings. The proposed building will be faced with buff brickwork and cream coloured render, which is considered to complement the buff coloured brick elevations of Venture House. I do not consider an objection could be raised to the proposed flat roof design. The new building will be seen partly in context with the flat roof 3-storey office block of Elizabeth House and will not be located within a traditional street scene. The two-storey element would be in keeping with the existing residential properties in New Street. The proposed eastern elevation will be set in from the side boundary with Elizabeth House by 1.15m, whilst the proposed western side elevation will be set in from the boundary by between 1.55m and 3.15m. This is compliant with the minimum 1 metre set-in standard stipulated in the Supplementary Planning Document on Residential Extensions and New Residential Development 2011 (SPD)

Impact on Neighbouring Residential Properties

- 7.6 Policy EN1b of the CS & P DPD states that new development should achieve a satisfactory relationship to adjoining properties avoiding significant harmful impact in terms of loss of privacy, daylight or sunlight, or overbearing effect due to bulk and proximity or outlook.
- 7.7 The proposal is considered to have an acceptable relationship with neighbouring residential properties. Whilst the eaves level is higher than the approved scheme, there will be a satisfactory separation distance between the proposed 2-storey western flank elevation and the rear elevations of 11 – 17 New Street. For example, there will be a gap of at least 16.5 metres between the original 2-storey rear elevation of 15 New Street, which is 1.3 metres greater compared to the approved scheme. The distance will be 16 metres between the rear elevation of the maisonettes of 11 & 13 New Street. Both these distances are above the minimum 13.5m “back to flank” separation distance standard stipulated in the SPD. With regard to 27 and 29 Sidney Road, there will be gap of at least 10.5m between the proposed rear elevation and the southern boundary. The proposal therefore complies with the minimum 10.5m “back to boundary” standard in the SPD. Consequently, it is considered that there will not be any undue loss of amenity. I do not consider an objection could be raised to the proposed first floor Juliet balconies on the rear elevation. I also consider the relationship with the office building of Elizabeth House to be acceptable.

Amenity Space

- 7.8 The proposed development comprises a communal garden at the southern end of the site measuring 190 sqm. This is above the Council’s minimum amenity space standard of 185 sqm for scheme for this size and is considered acceptable. Moreover, the garden area faces a southerly direction and will therefore have a high amenity value.

Parking Provision

- 7.9 Policy CC3 (Parking Provision) of the CS & P DPD states that the Council will require appropriate provision to be made for off-street parking in development proposals in accordance with its maximum parking standards.
- 7.10 On 20 September 2011 the Council's Cabinet agreed a 'Position Statement' on how Policy CC3 should now be interpreted in the light of the Government's recent parking policy changes. The effect of this is that the Council will give little weight to the word 'maximum' in relation to residential development when applying Policy CC3 and its residential parking standards will generally be applied as minimum (maximum parking standards continue to be applicable in relation to commercial development). The supporting text to the Parking Standards stipulates a number of exceptional situations where a reduction in parking will only be allowed. One of these situations includes town centre locations where the reduction parking will be assessed against the distance from a "public transport node", frequency of public transport, availability of pedestrian and cycle routes, and the range and quality of facilities supportive of residential development within reasonable walking distance.
- 7.11 The proposed parking provision is 6 spaces (1 space per unit). As mentioned above, 2 of the spaces are to be located in front of the building with the other 4 spaces adjacent to the eastern elevation of Venture House. The normal minimum parking standard for a scheme of this size is 8. The proposed provision is therefore 2 spaces below the standard. The site is located however, within the commercial area of Staines town centre. It is close to the train station which has a frequent and extensive service. It is also within easy walking distance of the shops and services of the town centre (which has the largest range of facilities in the Borough) and the bus station. There are also several bus services in London Road. Consequently, I consider that there is clear justification for a reduction in the level of parking on this particular site.
- 7.12 As mentioned above, the applicant has recently applied to the Local Planning Authority for a Non-Material Amendment to the Prior Approval for 31 flats (16/00978/PDO) seeking a reduction in the level of car parking from 59 to 27 spaces (the remaining basement car park). Whilst at the time of writing the Non-Material Amendment application is pending consideration, the County Highway Authority has already assessed this scenario as part of the current planning application (i.e. a total of 33 car parking spaces on the overall site to serve the office conversion to residential and the new build) and has raised no objection. They state that both 6 spaces for the proposed development and 27 spaces for the converted office building will not cause a highway safety problem due to the range of parking restrictions on the streets surrounding the application site.
- 7.13 It is relevant to note that planning permission has recently been granted (16/01616/FUL) for alterations to the existing car parking arrangement by creating 4 spaces fronting New Street (2 additional ones and 2 replacing existing spaces adjacent the basement ramp). Implementing this particular planning permission would result in 31 parking spaces provided on the site for the 31 flats in Venture House (i.e. 1 space per unit). This is in addition to the 6 parking spaces being provided for the proposed block of 6 flats, which

again represents 1 space per unit. The parking provision is comparable to, or slightly exceeds, other recently approved residential developments within Staines Town Centre and is acceptable.

Flooding

- 7.14 The site is located within Flood Zone 2, which has between 1 in 100 year and 1 in 1000 year chance of flooding. There is no objection in principle to the creation of new residential development in this relatively low risk flood zone. The Environment Agency were consulted and have raised no objection subject to conditions relating to contaminated land and groundwater. In addition conditions are to be imposed to prevent any raising of existing ground levels and requiring the removal of any spoil from construction. Accordingly, the impact on flood risk is considered acceptable.

Other Matters

- 7.15 The development complies with Policy HO4 of the CS & P DPD which requires developments to include at least 80% of their total as one or two bedroom units.
- 7.16 With regard to the representation from the third party, the amended site layout plan shows some indicative planting alongside the rear boundary. Conditions will be imposed requiring details of boundary treatment and landscaping to be submitted for approval, which should ensure that the rear boundary is treated in a satisfactory manner.
- 7.17 A revised site layout plan with swept paths shows that a refuse vehicle can turn around and exit the site in forward gear. A condition is recommended to ensure that the turning head is implemented and maintained on the site.
- 7.18 The floorspace of the proposed units comply with the minimum standards stipulated in the Government's Technical Housing Standards – nationally described space standard March 2015.
- 7.19 In terms of cycling parking facilities, space for 6 bicycles is provided on the site. This represents 1 cycle parking space per unit which is considered acceptable and accords with the requirement in the Council's Parking Standards.
- 7.20 Accordingly, the application is recommended for approval.

8. Recommendation

- 8.1 GRANT subject to the following conditions:-

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:- This condition is required by Section 91 of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans and drawings:

AP007, AP040, AP043, AP044, AP050, AP051, AP054 received 06 October 2016

AP052 Rev. B received 22 November 2016

AP053 Rev. B received 22 November 2016

Reason:- For the avoidance of doubt and in the interest of proper planning

3. Before any work on the development hereby permitted is first commenced details of the materials and detailing to be used for the external surfaces of the building and the surface material for the parking spaces be submitted to and approved by the Local Planning Authority.

Reason:- To ensure that the proposed development does not prejudice the appearance of the development and the visual amenities and character of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

4. No development shall take place until:-

(a) A comprehensive desk-top study, carried out to identify and evaluate all potential sources and impacts of land and/or groundwater contamination relevant to the site, has been submitted to and approved in writing by the Local Planning Authority.

(b) Where any such potential sources and impacts have been identified, a site investigation has been carried out to fully characterise the nature and extent of any land and/or groundwater contamination and its implications. The site investigation shall not be commenced until the extent and methodology of the site investigation have been agreed in writing with the Local Planning Authority.

(c) A written method statement for the remediation of land and/or groundwater contamination affecting the site shall be agreed in writing with the Local Planning Authority prior to the commencement of remediation. The method statement shall include an implementation timetable and monitoring proposals, and a remediation verification methodology.

The site shall be remediated in accordance with the approved method statement, with no deviation from the statement without the express written agreement of the Local Planning Authority.

Reason:-

- (a) To protect the amenities of future residents and the environment from the effects of potentially harmful substances.

NOTE

The requirements of the above Condition must be carried out in accordance with current best practice. The applicant is therefore advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences. An information sheet entitled "Land Affected By Contamination: Guidance to Help Developers Meet Planning Requirements" providing guidance can also be downloaded from Spelthorne's website at www.spelthorne.gov.uk.

In accordance with policies SP6 and EN15 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

5. Prior to the first use or occupation of the development, and on completion of the agreed contamination remediation works, a validation report that demonstrates the effectiveness of the remediation carried out shall be submitted to and agreed in writing by the Local Planning Authority.

Reason:- To protect the amenities of future residents and the environment from the effects of potentially harmful substances.

6. No development shall commence until a report has been submitted to and agreed by the Local Planning Authority which includes details and drawings demonstrating how 10% of the energy requirements generated by the development as a whole will be achieved utilising renewable energy methods and showing in detail the estimated sizing of each of the contributing technologies to the overall percentage. The detailed report shall identify how renewable energy, passive energy and efficiency measures will be generated and utilised for each of the proposed buildings to meet collectively the requirement for the scheme. The agreed measures shall be implemented with the construction of each building and thereafter retained and maintained to the satisfaction of the Local Planning Authority unless otherwise agreed in writing.

Reason:- To ensure that the development is sustainable and complies with Policy SP7 and CC1 of the Spelthorne Development Plan Core Strategy and Policies DPD.

7. No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the buildings are occupied. Development shall be carried out in accordance with the approved details and maintained as approved.

Reason:- To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

8. No development shall take place until full details of both soft and hard landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The trees, shrubs and other associated proposals shall be planted on the site within a period of 12 months from the date on which development hereby permitted is first commenced, or such longer period as may be approved by the Local Planning Authority, and that the planting so provided shall be maintained as approved for a period of 5 years, such maintenance to include the replacement in the current or next planting season whichever is the sooner, of any trees or shrubs that may die, are removed or become seriously damaged or diseased, with others of similar size and species, unless the Local Planning Authority gives written permission to any variation.

Reason:- To minimise the loss of visual amenity occasioned by the development and to enhance the proposed development.

9. Before the first occupation of any part of the development, a landscape management plan including long-term design objectives, management responsibilities and maintenance schedules for all landscaped areas shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be carried out as approved.

Reason:- To minimise the loss of visual amenity occasioned by the development and to enhance the proposed development.

10. The 6 no. allocated car parking spaces and access/turning area thereto, as shown on approved drawing no. AP052 Rev. B received 22/11/2016, shall be permanently maintained for their designated purpose.

Reason:- The above condition is required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with policy CC2 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

11. No development shall take place until a Method of Construction Statement, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) measures to keep the highway clear from deposit of site materials
 - (e) measures to minimise dust during construction
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction period.

Reason:- In the interest of highway safety and to minimise dust pollution during construction.

12. No new development shall be occupied until space has been laid out in accordance with the approved plans to provide secure and covered cycle parking for the residential development hereby permitted, and thereafter shall be maintained as approved.

Reason:- The above condition is required in recognition of Section 4 (Promoting Sustainable Transport) of the NPPF

13. Before any development commences, details including a technical specification of all proposed external lighting shall be submitted to and approved in writing by the Local Planning Authority. The external lighting on the site shall at all times accord with the approved details.

Reason:- To safeguard the amenity of neighbouring residential properties and in the interest of security.

14. That within 3 months of the commencement of any part of the development permitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the curtilage of the site for the storage of refuse and waste materials in accordance with the details hereby approved, and thereafter shall be maintained as approved.

Reason:- To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

15. No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Local Planning Authority.

Reason:- The site is of high archaeological potential and it is important that the archaeological information should be preserved as a record before it is destroyed by the development.

16. No infiltration of surface water drainage into the ground within the development site is permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters. The development shall be carried out in accordance with the approval details.

Reason:- To prevent pollution of the water environment due to possible migration of contaminants from within the contaminated land. National Planning Policy Framework paragraph 109 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being

adversely affected by unacceptable levels water pollution. This condition is also sought in accordance with part (d) of policy EN9 of Spelthorne Borough Council's local plan adopted in 2009.

17. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason:- Piling or any other foundation designs using penetrative methods can result in risks to potable supplies from, for example, pollution / turbidity, risk of mobilising contamination, drilling through different aquifers and creating preferential pathways. Thus it should be demonstrated that any proposed piling will not result in contamination of groundwater. The National Planning Policy Framework paragraph 109 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels water pollution.

18. There shall be no raising of existing ground levels on the site within the area liable to flood, other than in accordance with the approved details.

Reason: -To prevent the increased risk of flooding due to impedance of flood flows and reduction in flood storage capacity in accordance with policies SP1, SP7 and LO1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

19. All spoil and building materials stored on site before and during construction shall be removed from the area of land liable to flood upon completion

Reason:- To prevent the increased risk of flooding due to impedance of flood flows and reduction of flood storage capacity in accordance with policies SP1, SP7 and LO1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

20. Prior to the commencement of development, an air quality assessment shall be carried out and submitted for the approval of the Local Planning Authority. The assessment shall identify any need for on site mitigation measures which are required to protect the occupiers of the development from poor air quality. The development shall not be occupied until those mitigation measures have been provided and they shall thereafter be retained and maintained in accordance with the approved details.

Reason:- To protect the future occupiers from poor air quality.

21. Prior to the occupation of the development hereby approved, the proposed turning head shall be provided on the site in accordance with approved drawings nos.' AP052 Rev. B and AP053 Rev. B and shall be kept permanently clear and not used for parking purposes.

Reason:- To ensure that a refuse vehicle and other service vehicles can enter and exist the site in forward gear, in the interest of highway safety.

Informatives

1. Please note that this application is subject to the payment of Community Infrastructure Levy (CIL). Full details of the charge, how it has been calculated and what happens next are set out in the CIL Liability Notice which will be sent separately.

If you have not already done so an Assumption of Liability notice should be sent to the Council as soon as possible and before the commencement of development.

Further information on CIL and the stages which need to be followed is available on the Council's website. www.spelthorne.go.uk/CIL.

2. The applicant is advised that the site to which this planning permission relates is located on or near land that may contain harmful substances. Under Part C of the Building Regulations you will be required to consider this when designing the foundations of the development.

The applicant is advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences.

The Town and Country Planning (Development Management Procedure) (England) Order 2015 **Working in a positive/proactive manner**

In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 186-187 of the NPPF. This included the following:-

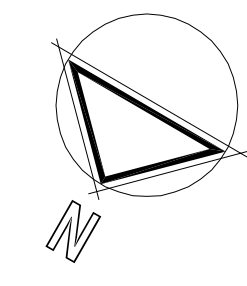
- a) Provided pre-application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development.
- b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered;

- c) Have suggested/accepted/negotiated amendments to the scheme to resolve identified problems with the proposal and to seek to foster sustainable development.
- d) Have proactively communicated with the applicant through the process to advise progress, timescales or recommendation.

Proposed Floor Plans



scale 1:50



notes:
Adjacent properties and boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated.

REV	DATE	DESCRIPTION	DRAWN	CHECKED
-	-	-	-	-



Planning

Chaplin Farrant
Wiltshire Limited

Bank Chambers
69 High Street
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SO23 9DA
Tel: 01962 862234
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email: studio@cfw-architects.com
www.cfw-architects.com

Also at:
Norwich
London

Inland Homes

Venture House

New Build Block
Proposed Plans
Ground & First Floor

J16968w

AP040

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25/08/2016

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Proposed Elevations

notes:
Adjacent properties and boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated.



Page 39

REV	DATE	DESCRIPTION	DRAWN	CHECKED
Revisions				

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Planning

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PROJECT

New Build Block Proposed Elevations
DRAWINGS

J16968w
PROJECT REF

AP054
DRAWING NO

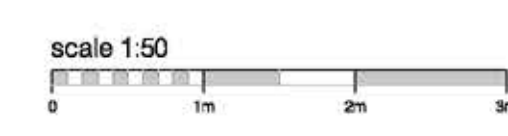
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Approved site layout - 15/01352/FUL

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- KEY**
- Timber Fence —•••••
 - Site Boundary —
 - Lighting Path •••••
 - Security Gate —

NOTES.

The boundary to the front of the site will be treated with a 450mm high timber knee rail fence. The boundary to the sides and rear of the site will be treated via the use of a timber closeboarded fence, min 2.0m high in compliance with Secure by Design.

The front of the site will be finished with either hardscape or grass and shrub planting.

Controlled access to the rear of the property will be achieved by the installation of a gate at the side with access control to the apartments accessed from the rear.

Flats facing onto the rear will be provided with a private area. This area to be defined by use of a low level timber fence. The rear of the site will have an area of communal garden for enjoyment by each of the flats. This area will be primarily finished with grass and shrub planting.

Path of lighting is indicative, design TBC, spec to be eco friendly and low wattage.

All doors and windows to be PAS 24 rated.

Nb. Site plan currently based on OS data. A further topographical survey required to determine site boundary.

- LANDSCAPING NOTES.**
- Remove bollards.
 - Soft and hard landscaping to be confirmed.
 - Signage required where refuse vehicles manoeuvre.
 - Drop kerbs need to be installed for disabled access across scheme.

No	Date	Description	By	Ckd
D	24.12.15	Notes	CH	AM
C	07.12.15	Parking amended to accommodate refuse vehicle path.	AM	DRJ
B	02.10.15	Drawing number amended.	AM	DRJ
A	09.09.15	Site note expanded	SH	RH

CLIENT

ASHBURY & BLOOM
 SETTING TRENDS IN PROPERTY DEVELOPMENT

PROJECT
 Proposed Resi to rear of 42
 London Rd, Staines Upon
 Thames

TITLE
 Proposed Site Plan

DRAWING STATUS

For Information

DRAWN	SH	CHECKED	RH
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SCALE As indicated @ A1

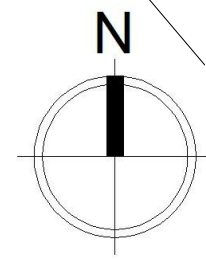
DATE 09/08/15

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JOB NO.	DRAWING NO.	REV
13-521	A00-01	D

Page 40

Site Plan
 1 : 100



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Life Time Homes Legend

Criterion 4 – Entrances

- All entrances should:
 a) Be illuminated
 b) Have level access over the threshold; and
 c) Have effective clear opening widths and nibs as specified below.
 In addition, main entrances should also:
 d) Have adequate weather protection*
 e) Have a level external landing.*

Criterion 6 – Internal doorways and hallways

Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects.

As a general principle, narrower hallways and landings will need wider doorways in their side walls.

The width of doorways and hallways should conform to the specification below.

Criterion 7 – Circulation Space

There should be space for turning a wheelchair in dining areas and living rooms and basic circulation space for wheelchair users elsewhere.

Criterion 8 – Entrance level living space

A living room / living space should be provided on the entrance level of every dwelling

Criterion 13 – Potential for fitting of hoists and bedroom / bathroom relationship

Structure above a main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom.

Criterion 14 – Bathrooms

An accessible bathroom, providing ease of access in accordance with the specification below, should be provided in every dwelling on the same storey as a main bedroom.

Criterion 15 – Glazing and window handle heights

Windows in the principal living space (typically the living room), should allow people to see out when seated. In addition, at least one opening light in each habitable room should be approachable and usable by a wide range of people – including those with restricted movement and reach

No	Date	Description	By	Ckd
D	01.12.15	Roof updated to introduce hip to North Elevation. PV moved to South Elevation.	AM	DRJ
C	09.09.15	Flat 4 cupboard door repositioned	SH	RH
B	08.09.15	Drawing title amended	SH	RH
A	02.09.15	Alterations to internal layouts with the inclusion of Lifetime Homes	SH	RH

CLIENT
ASHBURY & BLOOM
 SETTING TRENDS IN PROPERTY DEVELOPMENT

PROJECT
 Proposed Resi to rear of 42
 London Rd, Staines Upon
 Thames
 TITLE
 Proposed GA Floor Plans

DRAWING STATUS
 For Information
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13-521	A00-02	D

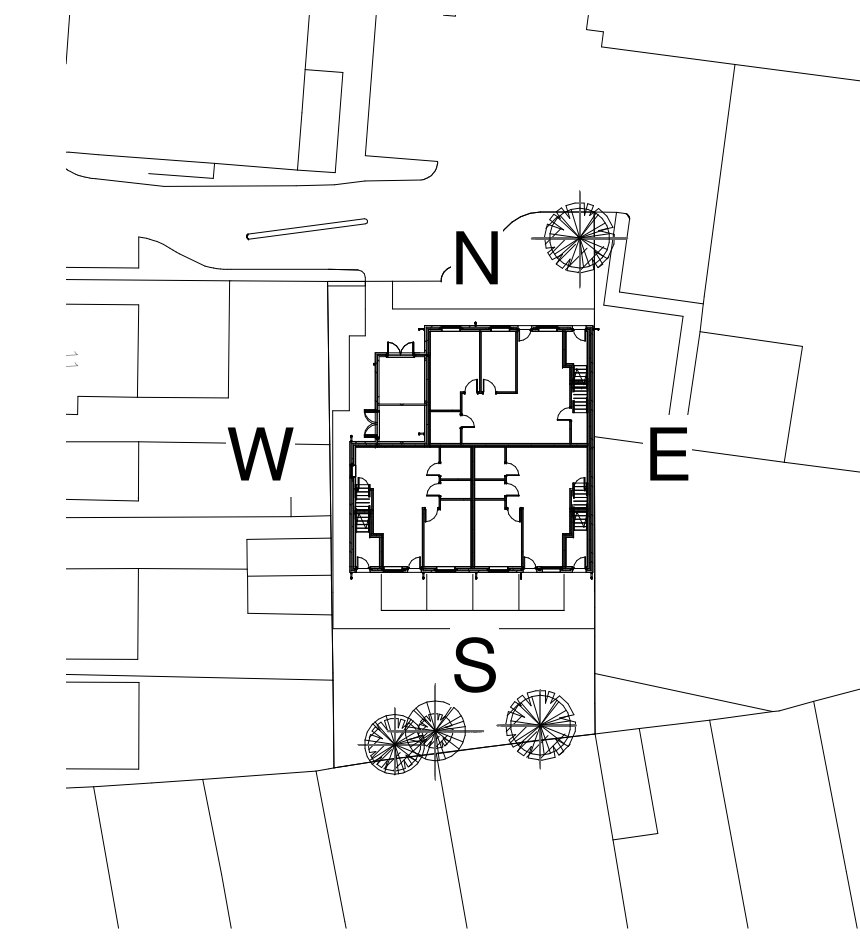


Room Schedule			
Number	Occupancy	Area	Area (Sq Ft)
Flat 1	2b/3p	67 m ²	722 SF
Flat 2	1b/2p	53 m ²	567 SF
Flat 3	1b/2p	52 m ²	557 SF
Flat 4	2b/3p	71 m ²	762 SF
Flat 5	1b/2p	53 m ²	566 SF
Flat 6	1b/2p	51 m ²	553 SF

Approved Elevations - 15/01352/FUL

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Roof Ridge 8330
 Roof 4650
 1st FL 3150
 GFL 150



- KEY**
- 1 - Aluminium Rain water Goods
 - 2 - Aluminium Coping Trim
 - 3 - Glass/ Polycarbonate Canopy
 - 4 - PV Array
 - 5 - Obscure Glass Window Fixed Light
 - 6 - Timber Effect Cladding
 - 7 - Buff Brickwork to Match Venture House
 - 8 - Grey Fibre Cement Tile

North Elevation
 1 : 50

Roof Ridge 8330
 Roof 4650
 1st FL 3150
 GFL 150



West Elevation
 1 : 50

No	Date	Description	By	Ckd
E	01.12.15	Roof updated to introduce hip to North Elevation. PV moved to South Elevation.	AM	DRJ
D	09.09.15	Timber fence and finishes added to elevations	SH	RH
C	08.09.15	Alterations to roof	SH	RH
B	02.09.15	Alterations to Fenestration	SH	RH
A	24.04.15	Levels raised 150mm in line with flood prevention.	AM	DRJ

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ASHBURY & BLOOM
 SETTING TRENDS IN PROPERTY DEVELOPMENT

PROJECT
 Proposed Resi to rear of 42
 London Rd, Staines Upon
 Thames
 TITLE
 Proposed GA Elevations 2

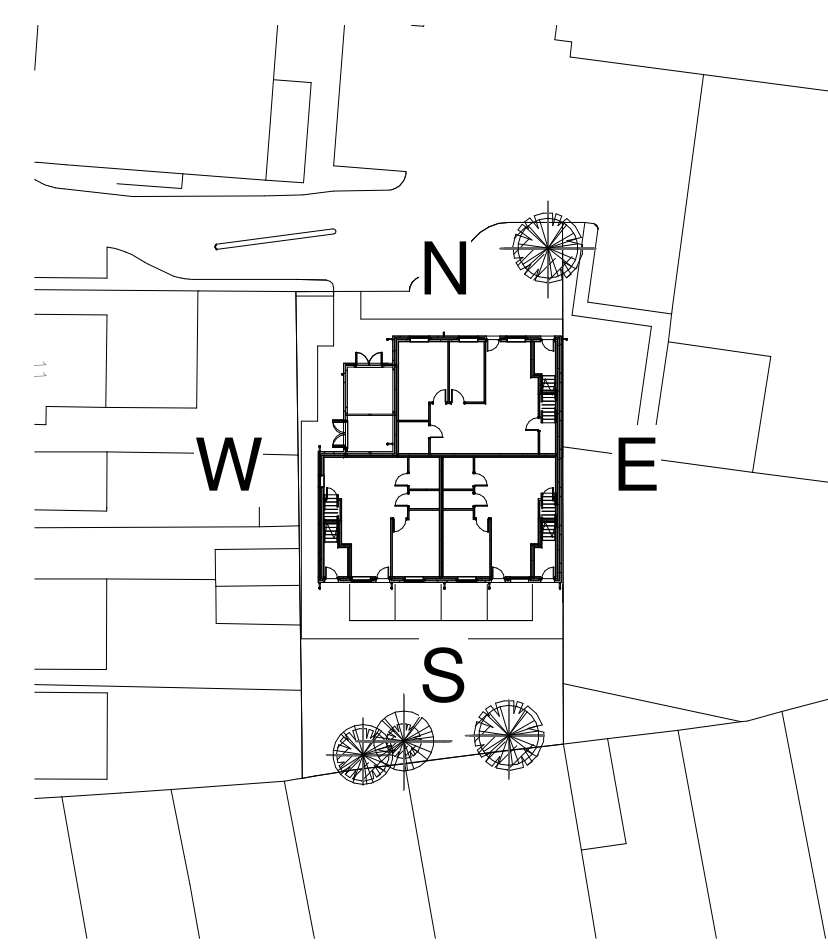
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13-521	A00-05	E

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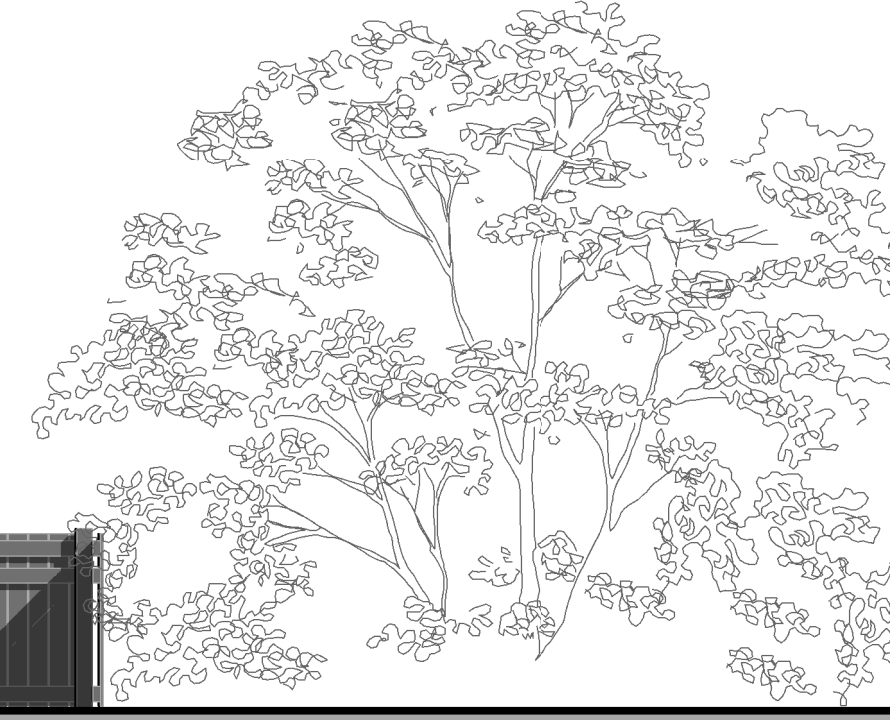
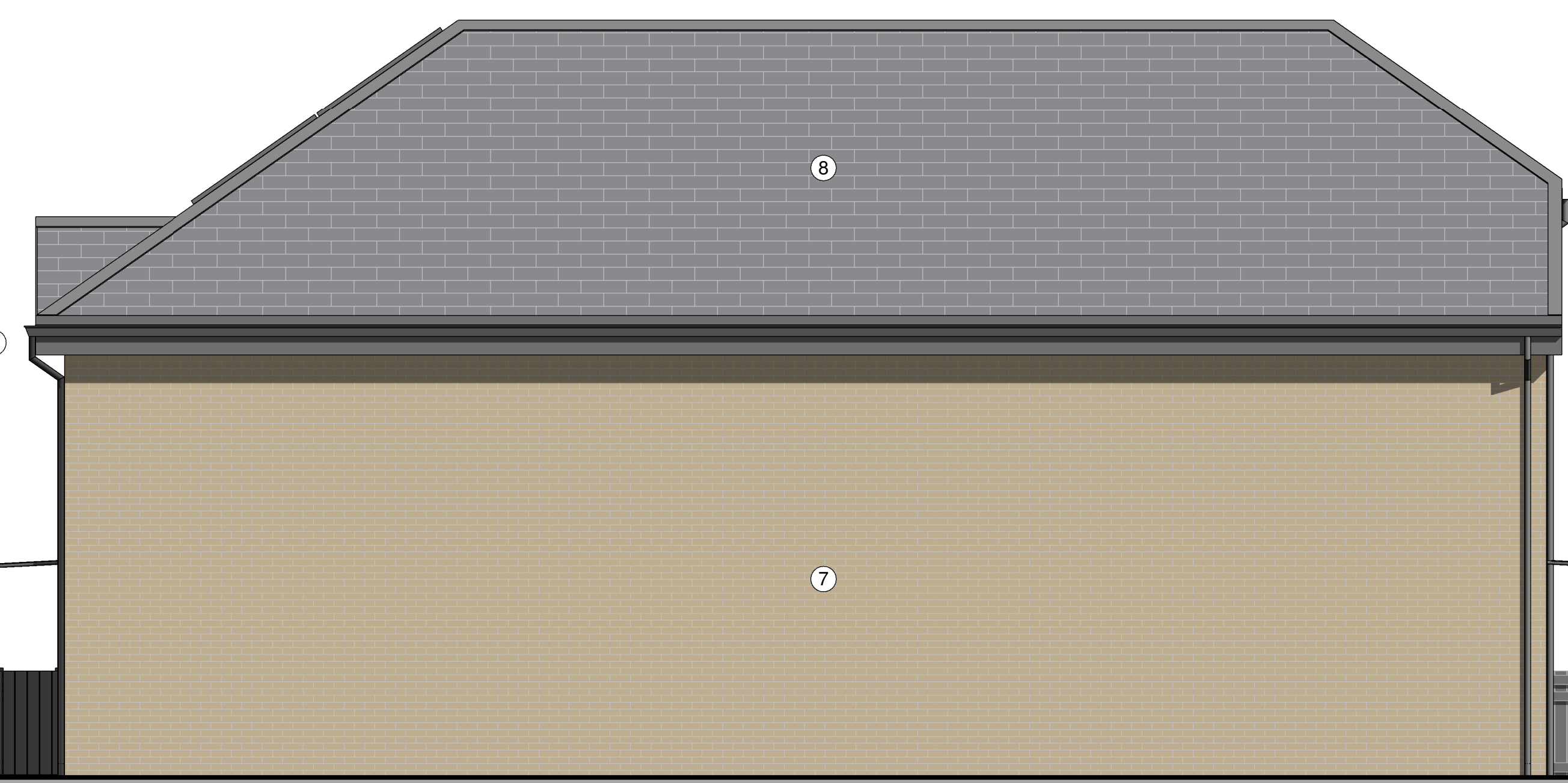
Roof Ridge 8330
 Roof 4650
 1st FL 3150
 GFL 150



- KEY**
- 1 - Aluminium Rain water Goods
 - 2 - Aluminium Coping Trim
 - 3 - Glass/ Polycarbonate Canopy
 - 4 - PV Array
 - 5 - Obscure Glass Window Fixed Light
 - 6- Timber Effect Cladding
 - 7- Buff Brickwork to Match Venture House
 - 8- Grey Fibre Cement Tile

South Elevation
 1 : 50

Roof Ridge 8330
 Roof 4650
 1st FL 3150
 GFL 150



East Elevation
 1 : 50

No	Date	Description	By	Ckd
E	01.12.15	Roof updated to introduce hip to North Elevation. PV moved to South Elevation.	AM	DRJ
D	09.09.15	Timber fence and finishes added to elevations	SH	RH
C	08.09.15	Alterations to roof	SH	RH
B	02.09.15	Alterations to Fenestration	SH	RH
A	24.04.15	Levels raised 150mm in line with flood prevention.	AM	DRJ

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ASHBURY & BLOOM
 SETTING TRENDS IN PROPERTY DEVELOPMENT

PROJECT
 Proposed Resi to rear of 42 London Rd, Staines Upon Thames
 TITLE
 Proposed GA Elevations

DRAWING STATUS
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 DATE 03/12/15

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JOB NO.	DRAWING NO.	REV
13-521	A00-04	E

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PLANNING APPEALS**LIST OF APPEALS SUBMITTED BETWEEN 4 NOVEMBER AND 1 DECEMBER
2016**

<u>Planning Application/Enforcement Notice</u>	<u>Inspectorate Ref.</u>	<u>Address</u>	<u>Description</u>	<u>Appeal Start Date</u>
16/01529/HOU	APP/Z3635/W/ 16/3162952	77 Thames Side Staines-upon- Thames	Erection of 2-storey side and rear extensions, formation of new roof to create a 2-storey dwellinghouse, single storey riverside extension, creation of balconies, and erection of detached garage.	29/11/2016

**APPEAL DECISIONS RECEIVED BETWEEN LIST OF APPEALS SUBMITTED
BETWEEN 4 NOVEMBER AND 1 DECEMBER 2016**

Site	294 London Road, Staines-upon-Thames
Planning app. no.:	16/00470/HOU
Proposed development:	Erection of a single storey rear extension following demolition of existing single storey rear element.
Reason for refusal	It has not been demonstrated to the satisfaction of the Local Planning Authority that the proposed development would have an acceptable impact, in relation to a Large Cypress Tree situated within the curtilage of no.292 London Road. Further information is required to conclusively establish that there would not be a detrimental impact upon this tree. The proposal is therefore contrary to Policy EN8 of the Core Strategy and Policies DPD, 2009.

Appeal Reference	APP/Z3635/D/16/3156010
Appeal Decision Date:	24/11/2016
Inspector's Decision	Allowed
Inspector's Comments:	The Inspector considered that "the main issues are the effect of the proposed development on the landscape and nature conservation value of the site and surrounding area, with particular regard to the tree in the back garden of 292 London Road". The Inspector commented that "given the shed and the terrace already in the back garden of No 294, I am not convinced that the proposed extension would jeopardise its health." He went onto say that "even if the tree were to be adversely affected by the development, it would not result in a significant, harmful impact on the landscape" or to nature conservation and is "disproportionately close" to the existing houses.

Site	13 Montford Road, Sunbury On Thames
Planning app. no.:	16/01194/HOU
Proposed development:	Erection of two storey front extension following demolition of existing porch.
Reason for refusal	The proposed front extension would by virtue of its location, scale and design projecting forward of the host dwelling and the prevailing building line would be obtrusive and out of character with the neighbouring properties, and so constitute an incongruous feature in the street scene that would have an unacceptable harmful impact on the character of the area. The proposal is therefore considered contrary to Policy EN1 of the Spelthorne Development Plan Core Strategy and Policies Development Plan Document and the Councils Supplementary Planning Document 2009 for the Design of Residential Extensions and New Residential Development 2011.
Appeal Reference	APP/Z3635/D/16/3160234

Appeal Decision Date:	30/11/2016
Inspector's Decision	Dismissed
Inspector's Comments:	The Inspector considered that the main issue was the "effect of the proposal on the character and appearance of the host property and the surrounding area". She considered that the size of the extension "would obscure a large proportion of the front elevation" and the mass "would appear unduly prominent" and would detract from the host dwelling. She therefore dismissed the appeal.

FUTURE HEARING / INQUIRY DATES

Council Ref.	Type of Appeal	Site	Proposal	Case Officer	Date
16/00135 /FUL	Hearing	The Paddocks rear of 237 - 245 Hithermoor Road, Stanwell Moor	Siting of static mobile home for one family.	KW/LT	TBA

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